

GENERAL NOTES:

- OWNERSHIP AND UNIFIED CONTROL STATEMENT:**
 - A. THE PROPOSED PROJECT IS OWNED BY WINDHAM DEVELOPMENT, INC.
 - B. ROADS SHALL BE PRIVATE AND MAINTAINED BY THE LAKEPARK ESTATES PROPERTY OWNERS ASSOCIATION, INC.
- CHARACTER AND INTENDED USE STATEMENT:** THE PROPOSED USE FOR PHASE 1, IS A 100 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION, AND AMENITY AREA.
- MAINTENANCE OF COMMON FACILITIES STATEMENT:** THE LAKEPARK ESTATES PROPERTY OWNERS ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ROADS. THE WATER DISTRIBUTION SYSTEM AND SANITARY SEWER COLLECTION SYSTEM WILL BE TRANSFERRED OVER TO SARASOTA COUNTY UTILITIES FOR OWNERSHIP AND MAINTENANCE.
- EXISTING LAND USE:** VACANT
- ZONING/PROPERTY ID:** HPD (HAMLET PLANNED DEVELOPMENT / 0541-01-0001 & 053-70-1001)
- FLOOD ZONE:** ZONE "C" PER FIRM MAP PANEL NO. 125144 0200 D. MAP REVISED MAY 1, 1984
- SITE COVERAGES:**

ROADS/SIDEWALKS:	8.37 AC
HOUSE/DRIVEWAYS:	29.16 AC (43-6,489 SF HOUSES, 9-7,560 SF HOUSES, 20-9,360 SF HOUSES, 28-10,560 SF HOUSES, AND 100-500 SF DRIVEWAYS)
RECREATION AREA:	0.00 AC (8.50 AC @ 0%)
AMENITY AREA:	1.68 AC (5.00 AC @ 85%)
TOTAL IMPERVIOUS:	37.53 AC
RETENTION:	37.80 AC @ TOB
TOTAL AREA:	410.46 AC
DENSITY:	100/410.46 = 0.24 DU/AC
- SETBACKS:**

STREET YARD:	20'
SIDE YARD:	12' BETWEEN STRUCTURES
REAR YARD:	10' TO PRINCIPAL STRUCTURE, 3' TO SWIMMING POOL AND NONE TO ACCESSORY STRUCTURES EXCEPT 6' FROM REAR LOT LINES THAT ABUT A SIDE LOT LINE.
- CONSTRUCTION NOTES:**
 - A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SARASOTA COUNTY LAND DEVELOPMENT REGULATIONS, LATEST EDITION DATED: MAY 7, 2001.
 - B. THE PROJECT SHALL BE CONSTRUCTED IN TWO (2) PHASES:
 - PHASE 1 IS A 100 LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT.
 - PHASE 1A IS THE AMENITY SITE.
 - PHASE 1B IS THE OFF-SITE SIDEWALK.
 - C. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITION, OR BETTER, TO THE SATISFACTION OF THE OWNER.
 - D. ALL FACILITIES CONTAINED HEREIN HAVE BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "FLORIDA ACCESSIBILITY CODE", FAC 1997 EDITION, (FLORIDA STATUTES, SECTION 953.501 - 953.513).
 - E. ALL PAVEMENT MARKINGS, EXCEPT PARKING STALLS, SHALL BE ALKYL THERMOPLASTIC 90 MILS IN THICKNESS, OTHER THAN THE EDGE LINES, WHICH ARE 60 MILS AND THE BICYCLE LANE SYMBOLS, WHICH SHALL BE 30 MILS IN ACCORDANCE WITH SARASOTA COUNTY TECHNICAL PROVISIONS TP 711 (01M, SECTION B.1.b, PAR 98) MUTCD AND 709-4.2, 710-4.2 AND 711-4.2 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION -2007 ED.
 - F. A MINIMUM OF 2 FEET OF SOD SHALL BE PLACED AT THE BACK OF ALL CURBS AND PAVEMENT EDGES, EXCEPT LANDSCAPE AREAS. ALL SWALES, BERMS AND RETENTION AREAS SHALL BE SODDED TO THE NORMAL WATER LEVEL, OR LANDSCAPED PER THE APPROVED LANDSCAPE PLANS.
 - G. ALL TACTILE SURFACES ON CURB CUT RAMPS SHALL CONFORM TO FDOT INDEX NO. 304. WITH TRUNCATED DOMED DETECTABLE WARNINGS.
 - H. ALL DRAINAGE CULVERT JOINTS SHALL BE WRAPPED PER FDOT INDEX NO. 280.
 - I. ALL DRAINAGE STRUCTURES SHALL HAVE POURED CONCRETE INVERTS TO PRECLUDE PONDED WATER.
 - J. ALL ROADWAY STRUCTURES AND DRAINAGE STRUCTURES SHALL BE 3,000 PSI CONCRETE (FDOT STANDARD SPECIFICATIONS, SARASOTA COUNTY TECHNICAL PROVISIONS SECTION X, WHICH TAKES PRECEDENT IF DIFFERENT THAN THE FDOT SPECIFICATION) WHEN SLOPE CEMENT IS USED AS A BASE MATERIAL FOR PAVEMENT, IT SHALL BE 300 PSI (IN-PLACE STRENGTH) AT 7 DAYS.
 - K. VEGETATION REMOVED DURING CLEARING AND GRUBBING SHOULD BE DISPOSED OFF-SITE TO AN APPROVED LANDFILL. MATERIAL MAY BE USED ONSITE IF IT IS MULCHED AND MIXED TO A 75% SOIL/25% MULCH RATIO. THIS MATERIAL MAY BE USED IN LAKE BANKS, AND LANDSCAPE AREAS OUTSIDE OF LOTS, PROVIDED IT IS PLACED ABOVE THE SEASONAL HIGH WATER LEVEL. THIS MATERIAL CANNOT BE PLACED ON LOTS. IF THE MATERIAL MEETS THE 75% SOIL/25% MULCH RATIO, THE MATERIAL MAY BE PLACED BELOW THE SEASONAL HIGH WATER LEVEL IN THE LITTORAL SHELF AND LAKE BANK.
 - L. IN THE EVENT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION AND VEGETATIVE DEBRIS BEFORE FINAL PAYMENT IS RECEIVED. ANY FILL REMAINING ONSITE SHALL BE STOCKPILED IN ACCORDANCE WITH COUNTY REQUIREMENTS INCLUDING HEIGHT, SLOPE AND SILT FENCES.
 - M. ALL SIGN PLATES SHALL BE MADE OF 5052 ALUMINUM AND COVERED WITH 3M DIAMOND GRADE SHEETING SERIES 4000 OR CURRENT COUNTY STANDARDS. ALL SIGNS SHALL BE ATTACHED WITH ALUMINUM DRIVE RIVETS. STOP SIGNS SHALL BE A MINIMUM 30"x30" IN ACCORDANCE WITH SARASOTA COUNTY STANDARDS. TRAFFIC SIGN POSTS AND STREET NAME SIGNS SHALL BE INSTALLED CONSISTENT WITH APPENDIX C3 OF THE LDR. THE TAPCO V-Loop VSP1P-350 SYSTEM (OR AN EQUIVALENT) SHALL BE EMPLOYED WHERE SIGN POSTS ARE INSTALLED IN PAVED AND/OR MEDIAN AREAS. TRAFFIC SIGN POSTS WITHIN THE COUNTY RIGHT OF WAY SHALL BE 2 INCH SQUARE TUBE POSTS WITH PERFORATED/PUNCHED HOLES EVERY 1 INCH ON CENTER. ALL POSTS ARE REQUIRED TO MEET BREAKAWAY STANDARDS EVEN IF THEY ARE NOT WITHIN THE COUNTY RIGHT OF WAY AND THEY SHALL MEET THE REQUIREMENTS OF APPENDIX C3 OF THE LDR.
 - N. USE OF PAVEMENT BLOCK EITHER IN TRAVELWAYS OR WALKWAYS SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SPECIFICATION 526 AND 523 FOR PATTERNED/TEXTURED PAVEMENT.
 - O. ALL RIPRAP SHALL COMPLY WITH FDOT SPECIFICATION 530.
- STORMWATER MANAGEMENT:** THIS DEVELOPMENT PROVIDES A MASTER STORMWATER MANAGEMENT SYSTEM THAT IS CONSISTENT WITH SARASOTA COUNTY AND SWFWMD REQUIREMENTS.
- REFUSE AND RECYCLABLE NOTE:** REFUSE AND RECYCLABLES TO BE PICKED UP BY AN AUTHORIZED TRASH HAULER OR TAKEN TO A PRIVATE RECYCLING FACILITY. ALL REFUSE AND RECYCLING TO BE IN ACCORDANCE W/COUNTY CODES. REFUSE COLLECTION SHALL BE PROVIDED BY WASTE MANAGEMENT.
- UTILITY NOTES:**
 - A. FDEP WASTEWATER, FDEP WATER, SARASOTA R/W USE AND SARASOTA UTILITY PERMITS ARE REQUIRED.
 - B. WATER DISTRIBUTION AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SARASOTA COUNTY SPECIFICATIONS.
 - C. THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE" ONE CALL, FPL AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ONSITE, OR OFFSITE SO THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
 - D. UTILITIES AS FOLLOWS:
 - PHONE SERVICE TO BE PROVIDED BY VERIZON.
 - POWER TO BE PROVIDED BY FPL.
 - TV SERVICE TO BE PROVIDED BY COMCAST, OR VERIZON.
 - GAS, IF REQUESTED, TO BE PROVIDED BY TECO/PEOPLES GAS.
 - E. TO THE BEST OF OUR KNOWLEDGE THERE IS ONE WELL LOCATED ON THIS SITE, AND NOT WITHIN PHASE 1.
 - F. ANY WELLS DISCOVERED DURING EARTH MOVING, EXCAVATION OR CONSTRUCTION MUST BE REPORTED TO THE ENVIRONMENTAL ENGINEERING WITHIN 24 HOURS OF DISCOVERY. IF SAID WELL HAS NO USE IT SHALL BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.
 - G. TO THE BEST OF OUR KNOWLEDGE THERE IS ONE SEPTIC TANK LOCATED ON THIS SITE.
 - H. ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.
- FORTUITOUS FINDS STATEMENT:** THE FOLLOWING REQUIREMENTS APPLY TO ALL BUILDING CONSTRUCTION OR ALTERATION, OR LAND ALTERATION ACTIVITIES IN ACCORDANCE WITH CHAPTER 66 OF THE SARASOTA COUNTY CODE OF ORDINANCES AND WITH THE HISTORIC PRESERVATION CHAPTER OF SARASOTA COUNTY COMPREHENSIVE PLAN:
 - A. IF EVIDENCE OF THE EXISTENCE OF CULTURAL RESOURCES IS DISCOVERED OR OBSERVED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES AFTER FINAL APPROVAL, ALL WORK SHALL CEASE IN THE AREA OF EFFECT AS DETERMINED BY THE DIRECTOR, THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE DIRECTOR OF HISTORIC RESOURCES WITHIN TWO WORKING DAYS. EVIDENCE OF SUCH EVIDENCE INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHELL MOUNDS, SHELL MIDDENS, OR SAND MOUNDS. THE DIRECTOR SHALL ASSESS THE SIGNIFICANCE OF THE FINDS WITHIN THREE WORKING DAYS OF NOTIFICATION AND TO MITIGATE ANY ADVERSE EFFECTS SO AS TO MINIMIZE DELAYS TO DEVELOPMENT ACTIVITIES.
 - B. IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES, ALL WORK IN THAT PARTICULAR AREA MUST CEASE, AND THE PERMITEE MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE AND NOTIFY THE DIRECTOR OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. ACCORDING TO CHAPTER 872, FLORIDA STATUTES, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.

14. RESOURCE PROTECTION SERVICES NOTE:

- A. THE WETLAND AND ASSOCIATED UPLAND VEGETATIVE BUFFER SHALL BE MAINTAINED IN ACCORDANCE WITH MANAGEMENT GUIDELINES CONTAINED WITHIN THE COMPREHENSIVE PLAN AS A PRESERVE AND LABELED A PRESERVE ON ALL PLANS. ALL ACTIVITIES INVOLVING FILLING, EXCAVATING, WELL DRILLING, ALTERING VEGETATION (INCLUDING TRIMMING OF BOTH TREES AND UNDERSTORY) AND STORING OF MATERIALS SHALL BE PROHIBITED WITHIN PRESERVATION AREAS, UNLESS WRITTEN APPROVAL IS FIRST OBTAINED FROM RESOURCE PROTECTION SERVICES. EXCEPTION MAY BE GRANTED BY RESOURCE PROTECTION SERVICES TO FACILITATE IMPLEMENTATION OF APPROVED HABITAT MANAGEMENT PLANS OR THE HAND REMOVAL OF NUISANCE/INVASIVE VEGETATION.
- B. ALL PRESERVE AREAS SHALL BE RECORDED ON A SEPARATE CONSERVATION EASEMENT AND RECORDED WITH THE FINAL PLAT. A DRAFT CONSERVATION EASEMENT SHALL BE SUBMITTED TO RESOURCE PROTECTION SERVICES FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION AUTHORIZATION.
- C. IMPACTS TO STATE AND FEDERALLY PROTECTED SPECIES AS LISTED IN THE MOST CURRENT VERSION OF "FLORIDA'S ENDANGERED SPECIES AND SPECIES OF SPECIAL CONCERN: OFFICIAL LIST" PREPARED BY THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWC) ARE NOT AUTHORIZED BY THIS PERMIT. THESE SPECIES MAY INCLUDE, BUT ARE NOT LIMITED TO, FLORIDA SCRUB JAY, AMERICAN BALD EAGLE, SHERMAN'S FOX SQUIRREL, BURROWING OWL, GOPHER TORTOISE, GOPHER FROG, AND EASTERN INDIGO SNAKE. PROTECTION EXTENDS TO THE NESTS, BURROWS AND HABITAT UTILIZED BY THESE SPECIES IF A LISTED SPECIES (OR ITS EVIDENCE, SUCH AS BURROWS, NESTS, SCAT, TRACKS) THAT WAS NOT ADDRESSED IN THIS PERMIT IS OBSERVED PRIOR TO OR DURING CONSTRUCTION, ALL CLEARING AND EARTHMOVING ON-SITE SHALL CEASE. THE PERMITEE SHALL CONSULT WITH THE FWC REGIONAL OFFICE AND/OR THE U.S. FISH AND WILDLIFE SERVICE REGIONAL OFFICE REGARDING NECESSARY MEASURES TO AVOID EVIDENCE OF SUCH CONSULTATION TO THE ENVIRONMENTAL PROTECTION DIVISION PRIOR TO RESUMING WORK.
- D. IF ANY TYPE A FILL (CLEAN EARTHEN MATERIAL) IS TO BE HAULED OFF-SITE, AN EARTHMOVING PERMIT OR LETTER OF EXEMPTION IS REQUIRED FROM THE ENVIRONMENTAL PROTECTION DIVISION. IF ANY TYPE A LABEL HAULED OFF-SITE IS TO BE STOCKPILED OR FILLED UPON PRIVATE PROPERTIES WITHIN THE UNINCORPORATED AREAS OF SARASOTA COUNTY, THE RECEIVING PROPERTY(S) SHALL POSSESS AUTHORIZATION IN THE FORM OF AN EARTHMOVING PERMIT, A WRITTEN EARTHMOVING EXEMPTION, A BUILDING PERMIT, OR CONSTRUCTION PLAN APPROVAL PRIOR TO (CONCRETE SLOPE FILL, NO TYPE B OR TYPE C (VEGETATIVE LAND CLEARING DEBRIS), OR TYPE D (GARBAGE, REFUSE, WOOD, METAL, PLASTIC, ETC.) FILL MAY BE BURIED WITHIN OR OUTSIDE APPROVED CONSTRUCTION LIMITS. TYPE D FILL MUST BE DISPOSED AT AN APPROVED LANDFILL OR RECYCLING FACILITY. TYPE B, C, AND D FILLS GENERATED ON-SITE SHALL NOT BE STOCKPILED ON-SITE FOR GREATER THAN 30 DAYS. TYPE B AND TYPE C FILL SHALL NOT BE STOCKPILED TO THE SITE FROM OFF-SITE SOURCES. FOR INFORMATION ABOUT EARTHMOVING PERMITS OR EXEMPTIONS, CONTACT THE ENVIRONMENTAL PROTECTION DIVISION AT 941-861-5000. IF FILL MATERIAL IS TO BE STOCKPILED WITHIN THE APPROVED CONSTRUCTION LIMITS, THE PROJECT ENGINEER MUST PROVIDE DETAILED DRAWINGS TO LAND DEVELOPMENT FOR REVIEW AND APPROVAL.

15. LANDSCAPE NOTES:

- A. PLANTINGS SHALL BE LOCATED OUTSIDE OF THE FLOWLINE OF SWALES.
- B. TREES SHALL BE LOCATED OUTSIDE OF EASEMENT. HEDGES AND BERMS MAY BE WITHIN THE EASEMENT.
- C. IF OVERHEAD POWER LINES ARE WITHIN 30' OF A BUFFER OR LANDSCAPED AREA, UNDERSTORY TREES SHALL BE CONSTRUCTION TO CANOPY TREES.
- D. THE LANDSCAPE PLANS SHALL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE "2001-081. THIS PERTAINS TO IRRIGATION DESIGN AND PLANT SELECTION.
- E. A TREE REMOVAL AND PROTECTION PERMIT IS REQUIRED PRIOR TO ANY TREE REMOVAL OR CONSTRUCTION.

16. VERTICAL DATUM:

- A. BENCH MARK USED: NATIONAL GEODETIC SURVEY (NGS) DESIGNATION C-693, PID 12143 WITH A PUBLISHED ELEVATION OF 10.000 MSL BY USE OF VERTICAL NORTH AMERICAN VERTICAL DATUM CONVERSION PROGRAM RESULTING IN AN ELEVATION OF 48.618 FEET (NGVD 29)
- B. EXISTING 1 FT CONTOURS PROVIDED BY SARASOTA COUNTY IN NAVD 88, AND CONVERTED TO NAVD 29 USING THE EQUATION: (NAVD 88)/1.15782 = (NAVD 29). LATITUDE: 27°20'51.82", LONGITUDE: 82°19'33.98", RESULTING IN A VERTICAL SHIFT OF +0.955 FT.

17. REZONE STIPULATIONS: ORDINANCE NO. 2014-090, REZONE PETITION NO. 14-15

- A. DEVELOPMENT SHALL TAKE PLACE IN SUBSTANTIAL ACCORDANCE WITH THE MASTER LAND USE PLAN DATED SEPTEMBER 18, 2014, AND ATTACHED HERETO AS EXHIBIT "A", AND THE FISCAL NEUTRALITY PLAN DATED STAMPED SEPTEMBER 3, 2014, EXCEPT AS NECESSARY TO COMPLY WITH THE STIPULATIONS HEREIN. THIS DOES NOT IMPLY OR CONFIR ANY VARIANCES FROM APPLICABLE ZONING OR LAND DEVELOPMENT REGULATIONS.
- B. PRIOR TO OR CONCURRENT WITH THE DEVELOPMENT OF THE SUBJECT PARCEL, THE OWNER SHALL CONSTRUCT EASTBOUND TO NORTHBOUND LEFT-TURN LANES AT THE INTERSECTIONS OF THE EAST AND WEST DRIVEWAYS ON FRUITVILLE ROAD. THE TURN LANES SHALL BE DESIGNED IN ACCORDANCE WITH INDICES 301 AND 526 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS. THE IMPROVEMENTS SHALL BE INCLUDED IN THE CONSTRUCTION PLANS FOR THE DEVELOPMENT.
- C. THE WETLANDS, MESIC HAMMOCKS, PINE FLATWOODS, RESTORATION AREAS, AND OTHER UPLANDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE MANAGEMENT GUIDELINES CONTAINED WITHIN THE COMPREHENSIVE PLAN AS PRESERVES AND SHALL BE LABELED AS PRESERVES ON ALL PLANS. ALL ACTIVITIES INCLUDING BUT NOT LIMITED TO FILLING, EXCAVATING, WELL DRILLING, ALTERING VEGETATION (INCLUDING TRIMMING OF BOTH TREES AND UNDERSTORY) AND STORING OF MATERIALS SHALL BE PROHIBITED WITHIN PRESERVATION AREAS, EXCEPT WHERE APPROVED BY ENVIRONMENTAL PROTECTION DIVISION THROUGH:
- 1) THE RESOURCE MANAGEMENT PLAN FOR THE PROJECT, OR 2) SPECIFIC WRITTEN APPROVAL OF HAND REMOVAL OF NUISANCE OR EXOTIC VEGETATION. MINOR IMPACTS TO ONSITE WETLANDS RESULTING FROM UNAVOIDABLE IMPACTS NECESSITATED BY INTERNAL PARCEL ROADWAY AND INFRASTRUCTURE REQUIREMENTS, MAY BE ALLOWED IF DEEMED CONSISTENT WITH LDR ENVIRONMENTAL TECHNICAL MANUAL SECTION B.2. BY THE ENVIRONMENTAL PROTECTION DIVISION.
- D. ALL NATIVE HABITAT PRESERVATION/CONSERVATION AREAS (INCLUDING UPLAND BUFFERS) ADJACENT TO DEVELOPMENT AREAS SHALL HAVE PERMANENT MARKERS AND SIGNAGE POSTED AT REGULAR INTERVALS TO CLARIFY THE LIMITS OF THE PROTECTED AREAS.
- E. THE MASTER SURFACE WATER MANAGEMENT PLAN SHALL BE CONSISTENT WITH THE UPPER MYAKKA RIVER AND COWPEN SLOUGH BASIN MASTER PLANS.
- F. THE DEVELOPMENT IS REQUIRED TO CONNECT TO SARASOTA COUNTY PUBLIC UTILITIES WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS.
- G. PRIOR TO BEING GRANTED CONSTRUCTION PLAN APPROVAL FOR THE FIRST PHASE OF DEVELOPMENT, THE OWNER WILL SUBMIT A UTILITIES MASTER PLAN AND HYDRAULIC MODELS FOR THE ENTIRE DEVELOPMENT SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IDENTIFYING THE INFRASTRUCTURE REQUIRED TO CONNECT THE DEVELOPMENT TO SARASOTA COUNTY PUBLIC UTILITIES WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS. THE MASTER PLAN WILL INCLUDE A WATER QUALITY PLAN THAT DEMONSTRATES HOW THE POTABLE WATER SYSTEM EXPANSION WILL MAINTAIN COMPLIANCE WITH APPLICABLE DRINKING WATER QUALITY STANDARDS; AN IRRIGATION PLAN IDENTIFYING THE INFRASTRUCTURE REQUIRED TO SUPPLY THE SITES STORAGE POND WITH RECLAIMED WATER; AND ANY OFFSITE IMPROVEMENTS REQUIRED.
- H. THE OWNER SHALL OPERATE, MANAGE, AND MAINTAIN A COMMUNITY WIDE IRRIGATION SYSTEM UNDER A SINGLE ENTITY OR MASTER ASSOCIATION, THROUGH ITS MASTER COVENANTS OR DEED RESTRICTIONS THE OWNER SHALL ENFORCE PROVISIONS TO PRECLUDE THE INSTALLATION AND USE OF INDIVIDUAL IRRIGATION WELLS AND EMPLOY CONSERVATION PRACTICES THAT DO NOT LIMIT OR REDUCE WATER SUPPLIES TO LIMIT IMPACTS TO GROUNDWATER, ENFORCE WATERING SCHEDULES, MONITOR USE, AND IMPLEMENT BEST MANAGEMENT PRACTICES TO REDUCE IRRIGATION DEMANDS. COMMUNITY WELLS MAY BE USED ONLY AS A BACKUP SUPPLY FOR IRRIGATION DURING PERIODS WHEN RECLAIMED WATER OR SURFACE WATER IS UNAVAILABLE.
- I. THE OWNER IS RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF INTERNAL IRRIGATION INFRASTRUCTURE. SUCH IRRIGATION INFRASTRUCTURE SHALL BE DESIGNED TO ACCEPT RECLAIMED WATER IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
- J. WHEN RECLAIMED OR REUSE WATER BECOMES AVAILABLE, EXISTING DEVELOPMENT SHALL BE REQUIRED TO CONNECT TO THESE ALTERNATIVE SUPPLIES WITHIN 365 DAYS OF COUNTY NOTIFICATION.
- K. THE OWNER SHALL ENTER INTO A STANDARD UTILITY AGREEMENT WITH SARASOTA COUNTY PRIOR TO RECEIVING CONSTRUCTION AUTHORIZATION FOR THE FIRST PHASE OF DEVELOPMENT. THE STANDARD UTILITY AGREEMENT SHALL OUTLINE THE COUNTY'S EXTENSION OF WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS TO THE DEVELOPMENT. THE STANDARD UTILITY AGREEMENT WILL INCLUDE PROVISIONS TO

- A. ADDRESS THE DELAY IN THE SUPPLY OF RECLAIMED WATER SO THAT DEVELOPMENT IS ALLOWED TO PROCEED.
 - L. PRIOR TO CONSTRUCTION PLAN APPROVAL, A CONSERVATION EASEMENT SHALL BE RECORDED IN A FORM THAT IS ACCEPTABLE TO THE COUNTY ATTORNEY FOR THE PURPOSE OF ELIMINATING ANY FUTURE DENSITY RIGHTS ON LANDS DESIGNATED OPEN SPACE AND THOSE LANDS GENERATING TRANSFER OF DEVELOPMENT RIGHTS (TDRs) WITH THE HAMLET MASTER LAND USE PLAN.
 - M. STREET LIGHT FIXTURES SHALL BE SHIELDED IN ORDER TO DIRECT LIGHT DOWNWARD.
- 18. LIGHTING STANDARDS:**
PER SECTION 7.5 STREET LIGHTING IS NOT REQUIRED FOR THIS PROJECT.
IN ACCORDANCE WITH 11.2.10.c, TABLE 5, THE FOLLOWING LIGHTING STANDARDS SHALL NOT BE EXCEEDED WITHIN THE HAMLET:
- A. STREET LIGHTING FIXTURES SHALL BE SHIELDED IN ORDER TO DIRECT LIGHT DOWNWARD.

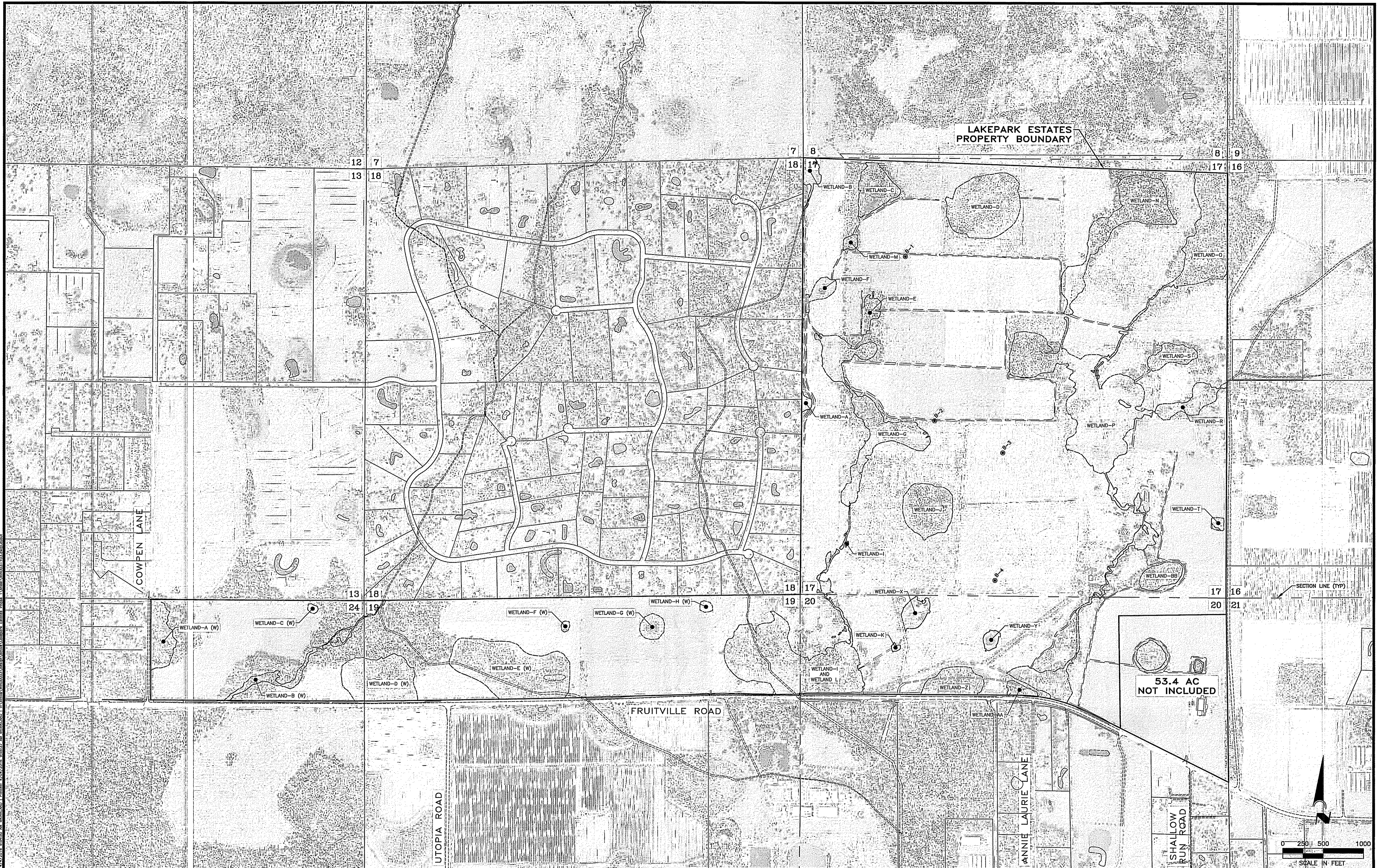
MAXIMUM OUTDOOR LIGHTING STANDARDS (LUMENS PER NET ACRE)

HPD ZONING DISTRICT	SINGLE-FAMILY AND DUPLEX AREAS	
	UNSHIELDED FIXTURES ONLY	MAXIMUM LUMENS (FULLY SHIELDED + UNSHIELDED, LPS + NON-LPS)
HPD-RES (RESIDENTIAL)	1,000 LM	10,000 LM
HPD-FP (FOCAL POINT)	1,000 LM	10,000 LM
HPD-OS (OPEN SPACE)	1,000 LM	10,000 LM

LEGAL DESCRIPTION:

- PARCEL C**
ALL OF SECTION 17, TOWNSHIP 36 S, RANGE 20 E, SARASOTA COUNTY, FLORIDA
- PARCEL D**
THE N 1/2 OF SECTION 20, LYING N OF FRUITVILLE-MYAKKA HARD ROAD, TOWNSHIP 36 S, RANGE 20 E, SARASOTA COUNTY, FLORIDA, LESS LANDS DESCRIBED IN O.R. BOOK 1837, PAGE 1811 AND O.R. BOOK 3014, PAGE 543, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.
- PARCEL E**
PART OF THE W 1/2 OF SECTION 20, TOWNSHIP 36 S, RANGE 20 E, SARASOTA COUNTY, FLORIDA, AS MORE FULLY DESCRIBED IN O.R. BOOK 788, PAGE 577, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.
- PARCEL F**
PROPERTY IN SECTION 20, TOWNSHIP 36 S, RANGE 20 E, SARASOTA COUNTY FLORIDA, DESCRIBED IN O.R. BOOK 826, PAGE 558, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.
- PARCEL H**
THE N 1/2 OF THE NW 1/4 AND THE N 1/2 OF THE NE 1/4 OF SECTION 19, TOWNSHIP 36 S, RANGE 20 E, SARASOTA COUNTY, FLORIDA.
- PARCEL I**
THE N 1/2 OF THE NE 1/4 OF SECTION 24, LYING N OF MYAKKA ROAD, IN TOWNSHIP 36 S, RANGE 19 E, SARASOTA COUNTY, FLORIDA.
- PIONEER PARCEL**
BEGIN AT THE INTERSECTION OF THE EAST LINE OF SECTION 20, TOWNSHIP 36 SOUTH, RANGE 20 EAST, WITH THE NORTHERLY RIGHT OF WAY LINE OF FRUITVILLE ROAD AS IT NOW EXISTS, AND RUN NORTH ALONG THE EAST LINE OF SAID SECTION 20, A DISTANCE OF 1330.00 FEET; THENCE WEST PERPENDICULAR TO SAID EAST LINE, A DISTANCE OF 550.00 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF SAID SECTION 20, TO THE AFORESAID NORTHERLY RIGHT OF WAY LINE; THENCE SOUTHEASTERLY ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING, LYING AND BEING IN SECTION 20, TOWNSHIP 36 SOUTH, RANGE 20 EAST, SARASOTA COUNTY, FLORIDA, CONTAINING 15 ACRES, MORE OR LESS. SUBJECT TO ANY PERTINENT EASEMENTS AND RIGHTS OF WAY OF RECORD.
- ROAD PARCEL**
TOGETHER WITH A PORTION OF OLD FRUITVILLE-MYAKKA HARD ROAD DESCRIBED IN O.R. BOOK 3014, PAGE 540, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.
LESS AND EXCEPT:
COMMENCING AT THE NORTHEAST CORNER OF SECTION 20 TOWNSHIP 36S RANGE 20E, THENCE RUN SOUTH 00°53'28" EAST ALONG THE EAST LINE OF SAID SECTION 20 A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°06'32" WEST A DISTANCE OF 1334.00 FEET THENCE SOUTH 00°53'28" EAST A DISTANCE OF 1389.08 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF FRUITVILLE ROAD; THENCE SOUTH 63°31'20" EAST ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 1502.14 FEET; THENCE NORTH 00°53'28" WEST ALONG SAID EAST LINE OF SECTION 20 A DISTANCE OF 2089.64 FEET TO THE POINT OF BEGINNING.
LYING AND BEING IN SECTION 20 TOWNSHIP 36S RANGE 20E IN SARASOTA COUNTY, FLORIDA, CONTAINING 53.42 ACRES TOTAL AREA 1000.86 ACRES
- TOGETHER WITH:**
DESCRIPTION: NORTH 100 FT. WIDE INGRESS/EGRESS EASEMENT
COMMENCING AT THE SOUTHWEST CORNER OF SECTION 8, TOWNSHIP 36 SOUTH, RANGE 20 EAST; THENCE S 88°01'40" E ALONG THE SOUTH LINE OF SAID SECTION 8, A DISTANCE OF 181.65 FEET TO THE POINT OF BEGINNING; THENCE N 35°15'00" W, A DISTANCE OF 310.84 FEET; THENCE N 00°29'40" E, A DISTANCE OF 3920.69 FEET; THENCE N 28°12'00" W, A DISTANCE OF 222.60 FEET; THENCE S 00°29'40" E, A DISTANCE OF 311.20 FEET; THENCE N 19°40'00" W, A DISTANCE OF 421.52 FEET; THENCE N 30°25'00" E, A DISTANCE OF 365.50 FEET; THENCE N 01°32'06" W, A DISTANCE OF 1799.66 FEET; THENCE N 34°55'00" W, A DISTANCE OF 481.71 FEET; THENCE N 33°35'00" E, A DISTANCE OF 341.57 FEET; THENCE N 22°39'00" W, A DISTANCE OF 824.02 FEET; THENCE N 48°55'00" W, A DISTANCE OF 623.4 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 425.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 411.68 FEET THROUGH A CENTRAL ANGLE OF 55°30'00" TO THE POINT OF TANGENCY; THENCE N 45°45'00" E, A DISTANCE OF 197.17 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 175.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 123.24 FEET THROUGH A CENTRAL ANGLE OF 40°21'00" TO THE POINT OF TANGENCY; THENCE N 06°24'00" E, A DISTANCE OF 368.37 FEET; THENCE N 01°32'06" W, A DISTANCE OF 349.39 FEET; THENCE N 89°59'49" E ALONG THE NORTH LINE OF SECTION 6, TOWNSHIP 36 SOUTH, RANGE 20 EAST, A DISTANCE OF 100.04 FEET TO THE NORTHEAST CORNER OF SAID SECTION 6; THENCE S 01°32'06" E ALONG THE EAST LINE OF SAID SECTION 6, A DISTANCE OF 353.65 FEET; THENCE S 06°24'00" W, A DISTANCE OF 375.30 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 275.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 193.67 FEET THROUGH A CENTRAL ANGLE OF 40°21'00" TO THE POINT OF TANGENCY; THENCE S 46°45'00" W, A DISTANCE OF 197.17 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 325.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 314.81 FEET THROUGH A CENTRAL ANGLE OF 55°30'00" TO THE POINT OF TANGENCY; THENCE S 08°45'00" E, A DISTANCE OF 611.55 FEET; THENCE S 22°39'00" E, A DISTANCE OF 865.26 FEET; THENCE S 33°35'00" W, A DISTANCE OF 326.91 FEET; THENCE S 34°55'00" E, A DISTANCE OF 443.60 FEET; THENCE S 01°32'06" E, A DISTANCE OF 1658.26 FEET; THENCE S 30°25'00" W, A DISTANCE OF 347.41 FEET; THENCE S 19°40'00" E, A DISTANCE OF 392.58 FEET; THENCE S 00°29'40" W, A DISTANCE OF 305.07 FEET; THENCE S 28°12'00" E, A DISTANCE OF 222.60 FEET; THENCE S 00°29'40" W, A DISTANCE OF 3912.17 FEET; THENCE S 35°15'00" E, A DISTANCE OF 354.56 FEET; THENCE N 88°01'40" W ALONG THE SOUTH LINE OF SAID SECTION 8, A DISTANCE OF 125.58 FEET TO THE POINT OF BEGINNING.
LYING AND BEING IN SECTIONS 5, 6, 7 AND 8, TOWNSHIP 36 SOUTH, RANGE 20 EAST, SARASOTA COUNTY, FLORIDA.
CONTAINING 25.42 ACRES.
- SUBJECT TO:**
DESCRIPTION: SOUTH 100 FT. WIDE INGRESS/EGRESS EASEMENT
COMMENCING AT THE NORTHEAST CORNER OF SECTION 17, TOWNSHIP 36 SOUTH, RANGE 20 EAST ALSO BEING THE SOUTHWEST CORNER OF SECTION 8, TOWNSHIP 36 SOUTH, RANGE 20 EAST; THENCE RUN S 88°01'40" E ALONG THE NORTH LINE OF SAID SECTION 17, A DISTANCE OF 181.65 FEET TO THE POINT OF BEGINNING; THENCE S 88°01'40" E CONTINUING ALONG SAID NORTH LINE A DISTANCE OF 125.58 FEET; THENCE SOUTH 35°15'00" E, A DISTANCE OF 237.08 FEET; THENCE S 00°19'03" W, A DISTANCE OF 704.73 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 520.98 FEET THROUGH A CENTRAL ANGLE OF 29°51'00" TO THE POINT OF TANGENCY; THENCE S 30°10'04" W, A DISTANCE OF 188.70 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 800.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 468.88 FEET THROUGH A CENTRAL ANGLE OF 29°51'00" TO THE POINT OF TANGENCY; THENCE S 00°19'03" W, A DISTANCE OF 697.61 FEET; THENCE S 00°19'18" W, A DISTANCE OF 50.37 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 171.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 120.86 FEET THROUGH A CENTRAL ANGLE OF 40°25'40" TO A POINT OF REVERSE CURVATURE WITH A CURVE TO THE RIGHT HAVING A RADIUS OF 282.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 344.56 FEET THROUGH A CENTRAL ANGLE OF 75°21'00" TO THE POINT OF TANGENCY; THENCE S 38°30'00" W, A DISTANCE OF 79.21 FEET; THENCE S 00°19'18" W, A DISTANCE OF 2165.64 FEET; THENCE S 00°24'24" W, A DISTANCE OF 1234.55 FEET; THENCE S 89°44'04" W ALONG THE NORTHERLY RIGHT OF WAY LINE OF FRUITVILLE ROAD PER O.R. BOOK 3014, PAGE 543, A DISTANCE OF 100.01 FEET; THENCE N 00°24'24" E ALONG THE WEST LINE OF SECTION 20, TOWNSHIP 36 SOUTH, RANGE 20 EAST, A DISTANCE OF 1236.05 FEET TO THE NORTHEAST CORNER OF SAID SECTION 20; THENCE N 00°19'18" E ALONG THE WEST LINE OF SECTION 17, TOWNSHIP 36 SOUTH, RANGE 20 EAST, A DISTANCE OF 2198.23 FEET; THENCE N 36°30'00" E, A DISTANCE OF 111.87 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 162.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 213.05 FEET THROUGH A CENTRAL ANGLE OF 75°21'00" TO THE POINT OF REVERSE CURVATURE WITH A CURVE TO THE RIGHT HAVING A RADIUS OF 271.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 190.00 FEET THROUGH A CENTRAL ANGLE OF 40°10'00" TO THE POINT OF TANGENCY; THENCE N 00°19'18" E ALONG THE SAID WEST LINE OF SECTION 17, A DISTANCE OF 49.40 FEET TO THE POINT OF TANGENCY; THENCE S 00°19'03" W, A DISTANCE OF 697.60 FEET TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1000.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 520.98 FEET THROUGH A CENTRAL ANGLE OF 29°51'00" TO THE POINT OF TANGENCY; THENCE N 30°10'04" E, A DISTANCE OF 188.70 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 800.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 468.88 FEET THROUGH A CENTRAL ANGLE OF 29°51'00" TO THE POINT OF TANGENCY; THENCE N 00°19'03" E, A DISTANCE OF 672.65 FEET; THENCE N 35°15'00" W, A DISTANCE OF 280.97 FEET TO THE POINT OF BEGINNING.
LYING AND BEING IN SECTIONS 17 AND 20, TOWNSHIP 36 SOUTH, RANGE 20 EAST, SARASOTA COUNTY, FLORIDA.
CONTAINING 15.65 ACRES.

Call: 477-2016 or 477-2017 or 477-2018 or 477-2019 or 477-2020 or 477-2021 or 477-2022 or 477-2023 or 477-2024 or 477-2025 or 477-2026 or 477-2027 or 477-2028 or 477-2029 or 477-2030 or 477-2031 or 477-2032 or 477-2033 or 477-2034 or 477-2035 or 477-2036 or 477-2037 or 477-2038 or 477-2039 or 477-2040 or 477-2041 or 477-2042 or 477-2043 or 477-2044 or 477-2045 or 477-2046 or 477-2047 or 477-2048 or 477-2049 or 477-2050 or 477-2051 or 477-2052 or 477-2053 or 477-2054 or 477-2055 or 477-2056 or 477-2057 or 477-2058 or 477-2059 or 477-2060 or 477-2061 or 477-2062 or 477-2063 or 477-2064 or 477-2065 or 477-2066 or 477-2067 or 477-2068 or 477-2069 or 477-2070 or 477-2071 or 477-2072 or 477-2073 or 477-2074 or 477-2075 or 477-2076 or 477-2077 or 477-2078 or 477-2079 or 477-2080 or 477-2081 or 477-2082 or 477-2083 or 477-2084 or 477-2085 or 477-2086 or 477-2087 or 477-2088 or 477-2089 or 477-2090 or 477-2091 or 477-2092 or 477-2093 or 477-2094 or 477-2095 or 477-2096 or 477-2097 or 477-2098 or 477-2099 or 477-2100 or 477-2101 or 477-2102 or 477-2103 or 477-2104 or 477-2105 or 477-2106 or 477-2107 or 477-2108 or 477-2109 or 477-2110 or 477-2111 or 477-2112 or 477-2113 or 477-2114 or 477-2115 or 477-2116 or 477-2117 or 477-2118 or 477-2119 or 477-2120 or 477-2121 or 477-2122 or 477-2123 or 477-2124 or 477-2125 or 477-2126 or 477-2127 or 477-2128 or 477-2129 or 477-2130 or 477-2131 or 477-2132 or 477-2133 or 477-2134 or 477-2135 or 477-2136 or 477-2137 or 477-2138 or 477-2139 or 477-2140 or 477-2141 or 477-2142 or 477-2143 or 477-2144 or 477-2145 or 477-2146 or 477-2147 or 477-2148 or 477-2149 or 477



SARASOTA COUNTY
FLORIDA

SECTION	TWP.	RANGE
17/20	36 S	20 E

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770

THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16
MK	01/09/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334

PHONE: (941) 377-8178

LAKEPARK ESTATES PHASE 1

APPROVED BY: *[Signature]*

DATE: 04/01/16

CLIENT: WINDHAM DEVELOPMENT, INC.

TITLE: AERIAL EXHIBIT

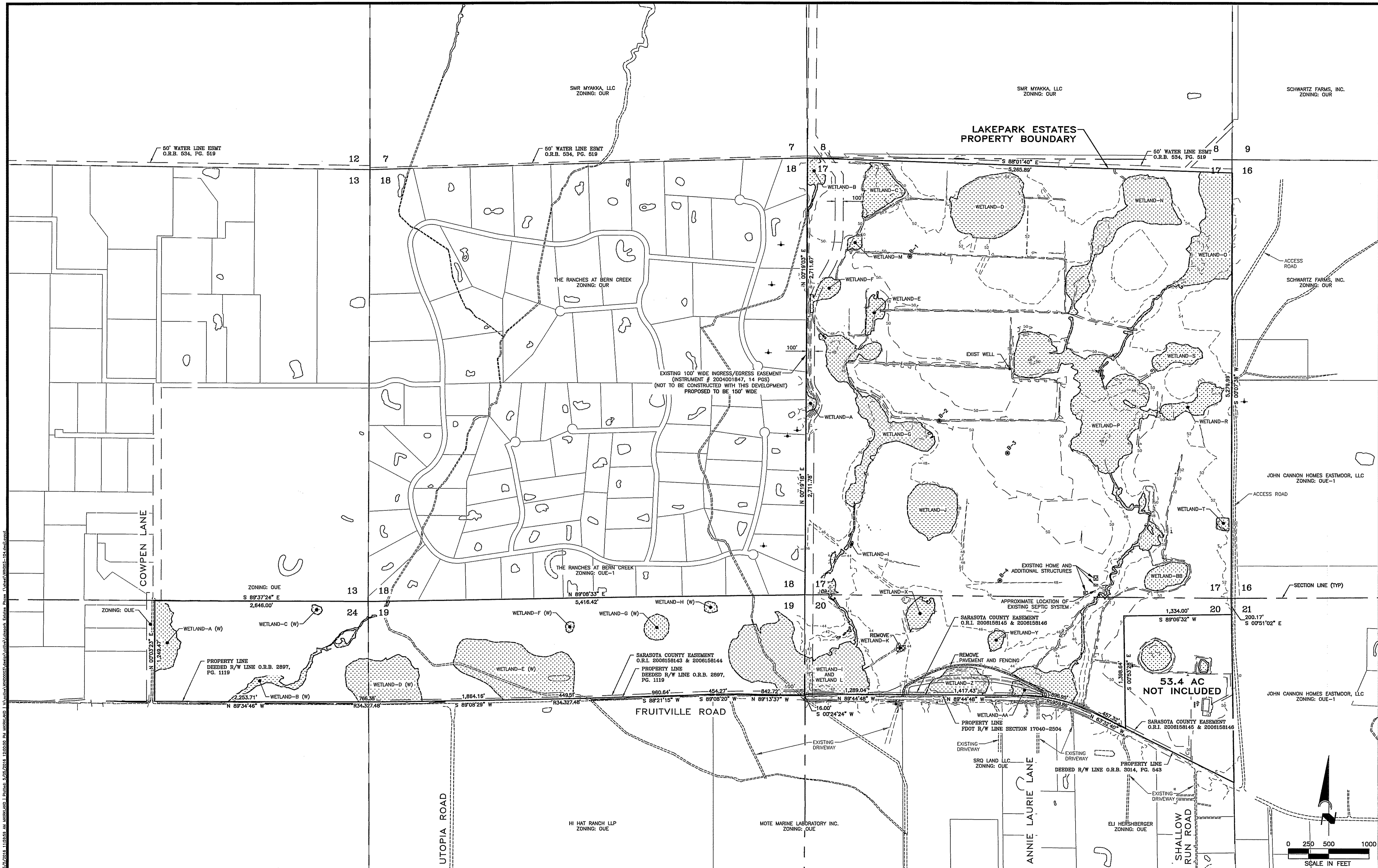
SCALE: 1"=500'

DESIGNED BY: MK

CAD FILE: WIND03-103

JOB NO: WIND0003

DRWG. NO: 3



CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

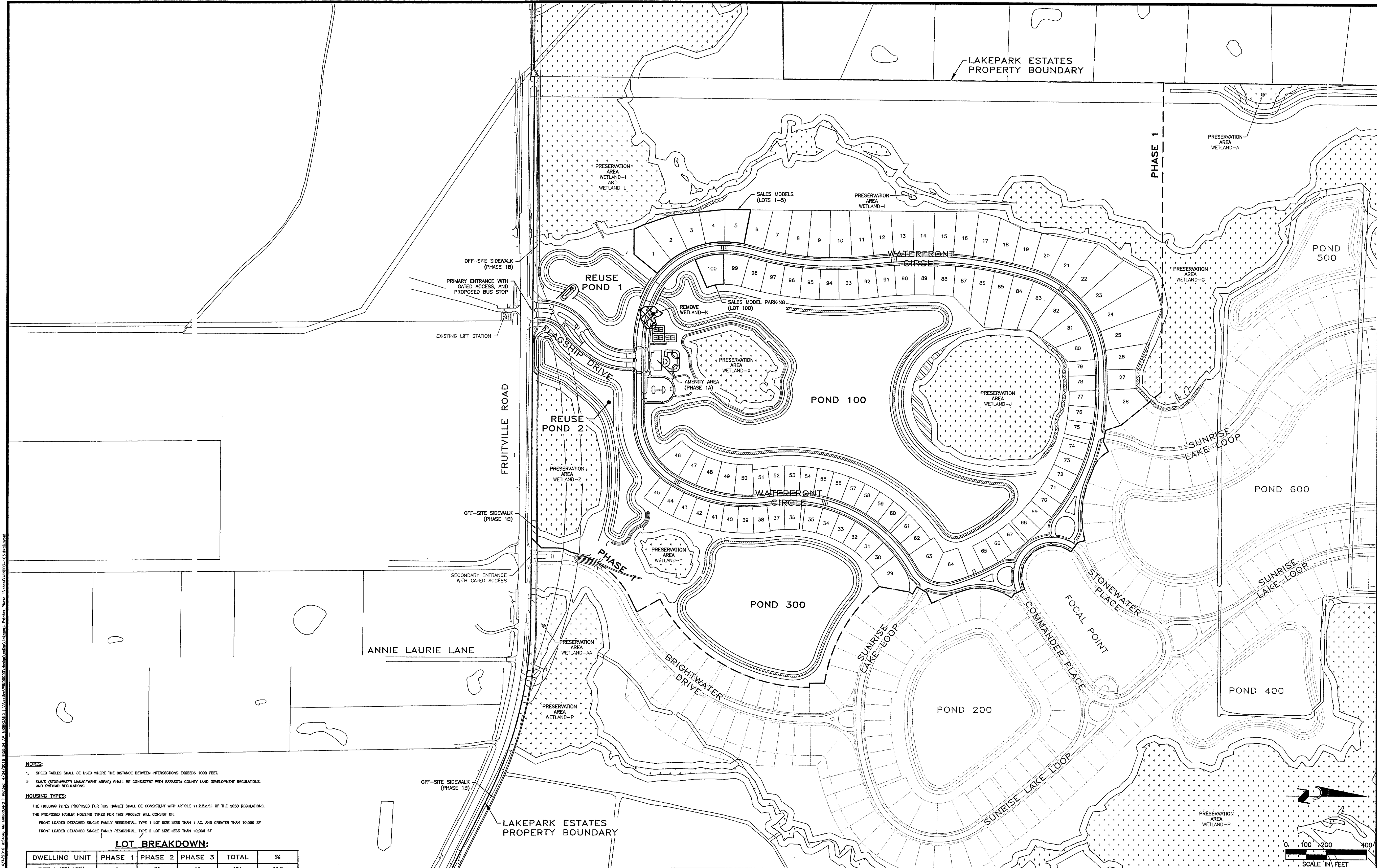
REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
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MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
 830 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-8178

LAKEPARK ESTATES PHASE 1
 SCALE: 1"=500'
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: EXISTING CONDITIONS AND DEMOLITION PLAN

APPROVED BY: [Signature]
 DRAWN BY: MK
 JOB NO: WIND003-104
 JOB NO: WIND0003
 DRAWING NO: 4

04/01/2016 11:59:59 AM WINDHAM DEVELOPMENT, INC. \Projects\2016\LAKEPARK ESTATES PHASE 1\WIND003-104.dwg
 04/01/2016 11:59:59 AM WINDHAM DEVELOPMENT, INC. \Projects\2016\LAKEPARK ESTATES PHASE 1\WIND003-104.dwg



NOTES:

- SPEED TABLES SHALL BE USED WHERE THE DISTANCE BETWEEN INTERSECTIONS EXCEEDS 1000 FEET.
- SMA'S (STORMWATER MANAGEMENT AREAS) SHALL BE CONSISTENT WITH SARASOTA COUNTY LAND DEVELOPMENT REGULATIONS, AND SWFMD REGULATIONS.

HOUSING TYPES:

THE HOUSING TYPES PROPOSED FOR THIS HAMLET SHALL BE CONSISTENT WITH ARTICLE 11.2.2.c.5.J OF THE 2050 REGULATIONS. THE PROPOSED HAMLET HOUSING TYPES FOR THIS PROJECT WILL CONSIST OF:

- FRONT LOADED DETACHED SINGLE FAMILY RESIDENTIAL, TYPE 1 LOT SIZE LESS THAN 1 AC, AND GREATER THAN 10,000 SF
- FRONT LOADED DETACHED SINGLE FAMILY RESIDENTIAL, TYPE 2 LOT SIZE LESS THAN 10,000 SF

LOT BREAKDOWN:

DWELLING UNIT	PHASE 1	PHASE 2	PHASE 3	TOTAL	%
TYPE 1 (75'x150')	9	59	66	134	33.5
TYPE 1 (90'x150')	20	25	31	76	19.0
TYPE 1 (100'x150')	28	21	21	70	17.5
TYPE 2 (75'x133')	43	46	31	120	30.0
TOTAL	100	151	149	400	100.0

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ENGINEERING, INC.
 840 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

LAKEPARK ESTATES PHASE 1

SCALE: 1"=200'

DATE: 04/01/16

CLIENT: WINDHAM DEVELOPMENT, INC.

TITLE: MASTER SITE PLAN

APPROVED BY: *[Signature]*

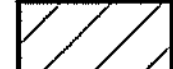
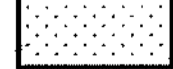

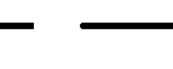
SEAN R. CROWELL, P.E.
 FLORIDA CERTIFICATE NO. 58584

JOB NO: WIND003-105

DRWG. NO: 5

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 User: sear
 Plot Date: 04/01/2016 10:16:48 AM
 Plot Scale: 1"=200'
 Plot Title: LAKEPARK ESTATES PHASE 1 MASTER SITE PLAN



- LEGEND:**
-  INDICATES 600 AC CONSERVATION EASEMENT
 -  INDICATES EXISTING WETLAND
 -  INDICATES 400 AC DEVELOPMENT AREA
 -  INDICATES 400 AC DEVELOPMENT AREA BOUNDARY, AND GREENBELT BUFFER LINE

OPEN SPACE BREAKDOWN:

TOTAL SITE	1,000.00 AC
DEVELOPMENT AREA	-400.00 AC
CONSERVATION EASEMENT	-600.00 AC
WETLANDS & PONDS IN PHASE 1	+ 53.16 AC
OTHER WETLANDS IN DEVELOPMENT AREA	+ 39.59 AC
TOTAL OPEN SPACE =	692.75 AC

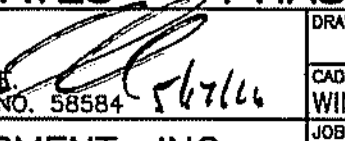
CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS

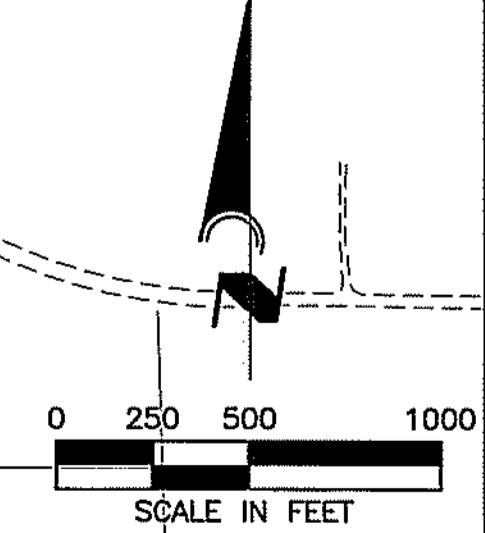
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16
MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
 840 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

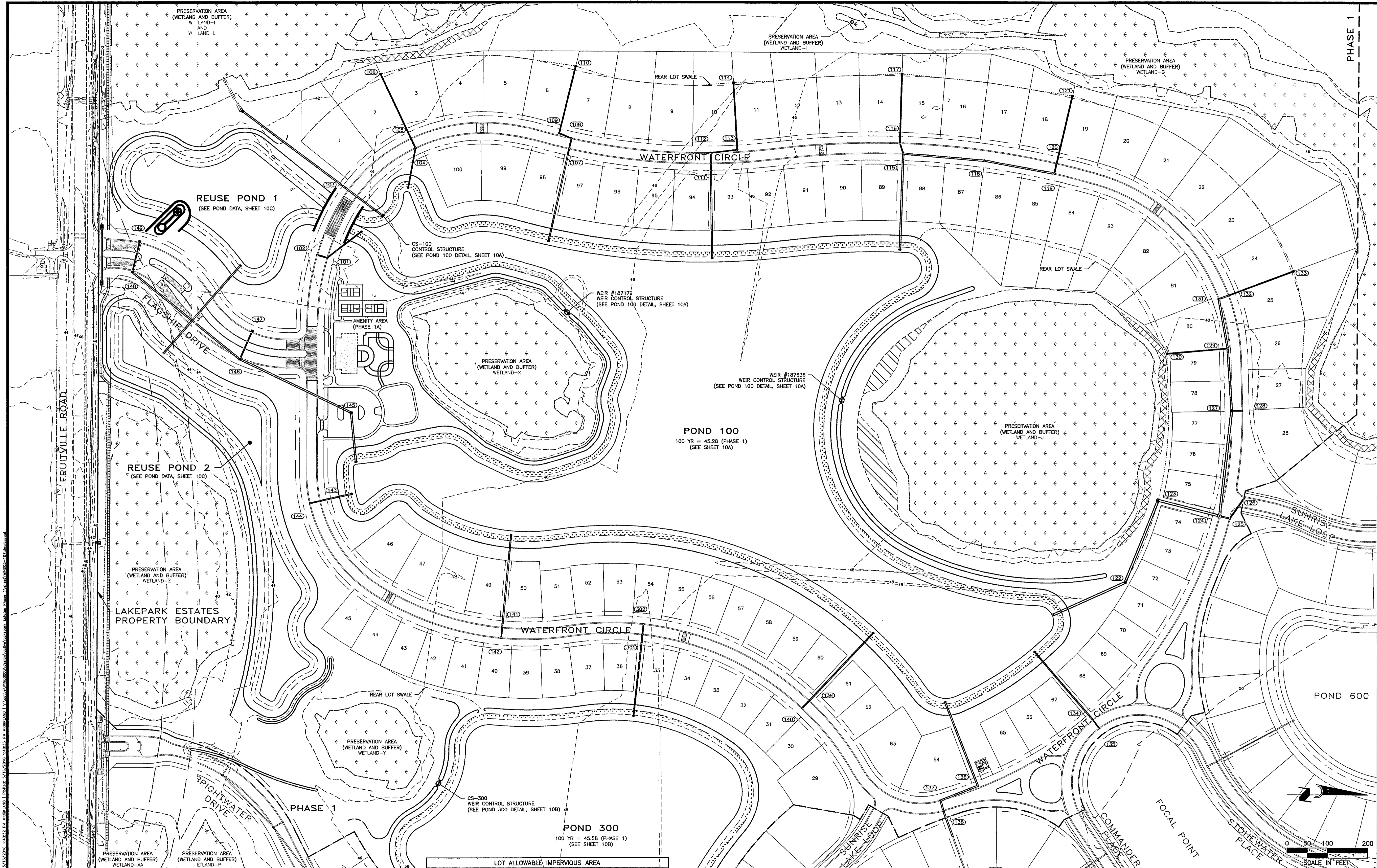
LAKEPARK ESTATES - PHASE 1

APPROVED BY: 
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: PRELIMINARY PLAN

SCALE: 1"=500'
 JOB NO: WIND003-106A
 DRAWING NO: WIND0003
 SHEET NO: 6A



Date: 04/01/2016 12:55:58 PM
 User: MK
 Project: LAKEPARK ESTATES PHASE 1 PRELIMINARY PLAN
 Drawing: WIND0003-106A-6A



REUSE POND 1
(SEE POND DATA, SHEET 10C)

REUSE POND 2
(SEE POND DATA, SHEET 10C)

POND 100
100 YR = 45.28 (PHASE 1)
(SEE SHEET 10A)

POND 300
100 YR = 45.58 (PHASE 1)
(SEE SHEET 10B)

LOT ALLOWABLE IMPERVIOUS AREA			
HOUSING TYPE	LOT DIMENSIONS	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)
TYPE 1	75' x 150'	11,250	7,560
TYPE 1	90' x 150'	13,500	9,360
TYPE 1	100' x 150'	15,000	10,560
TYPE 2	75' x 133'	9,975	6,489

** DRIVEWAYS ASSUMED TO BE 50 SF

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"SUNSHINE STATE ONE-CALL CENTER"
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REVISIONS		
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MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
6340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334

PHONE: (941) 377-9178

PROJECT: **LAKEPARK ESTATES PHASE 1**

SCALE: 1"=100'

DATE: 04/01/16

CLIENT: **WINDHAM DEVELOPMENT, INC.**

TITLE: **STORMWATER MANAGEMENT PLAN**

APPROVED BY: *[Signature]*

DESIGNER: *[Signature]*

DATE: 04/01/16

CLIENT: WINDHAM DEVELOPMENT, INC.

TITLE: STORMWATER MANAGEMENT PLAN

SCALE: 1"=100'

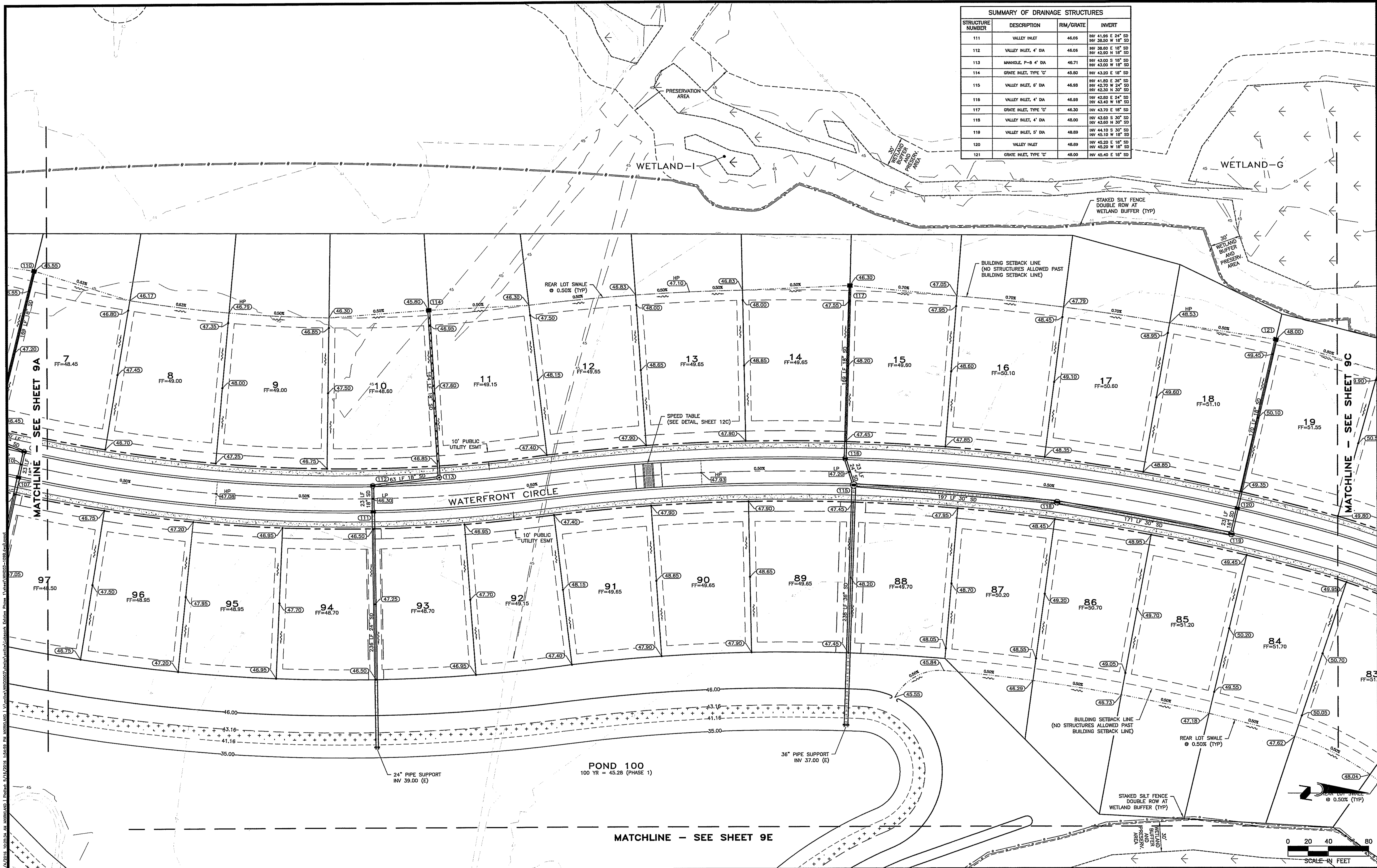
DATE: 04/01/16

CLIENT: WINDHAM DEVELOPMENT, INC.

TITLE: STORMWATER MANAGEMENT PLAN

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SUMMARY OF DRAINAGE STRUCTURES			
STRUCTURE NUMBER	DESCRIPTION	RIM/GRATE	INVERT
111	VALLEY INLET	46.05	INV 41.95 E 24" SD INV 38.50 W 18" SD INV 42.80 N 18" SD
112	VALLEY INLET, 4' DIA	46.08	INV 38.60 E 18" SD INV 43.00 W 18" SD
113	MANHOLE, P=8 4' DIA	46.71	INV 43.00 S 18" SD INV 43.00 W 18" SD
114	GRATE INLET, TYPE 'C'	46.80	INV 43.20 E 18" SD
115	VALLEY INLET, 6' DIA	46.88	INV 41.80 E 30" SD INV 42.70 W 34" SD INV 42.30 N 30" SD
116	VALLEY INLET, 4' DIA	46.88	INV 42.80 E 24" SD INV 43.40 W 18" SD
117	GRATE INLET, TYPE 'C'	46.30	INV 43.70 E 18" SD
118	VALLEY INLET, 4' DIA	48.00	INV 43.60 S 30" SD INV 43.60 N 30" SD
119	VALLEY INLET, 5' DIA	48.89	INV 44.10 S 30" SD INV 45.10 W 18" SD
120	VALLEY INLET	48.69	INV 45.20 E 18" SD INV 45.20 W 18" SD
121	GRATE INLET, TYPE 'C'	48.00	INV 45.40 E 18" SD



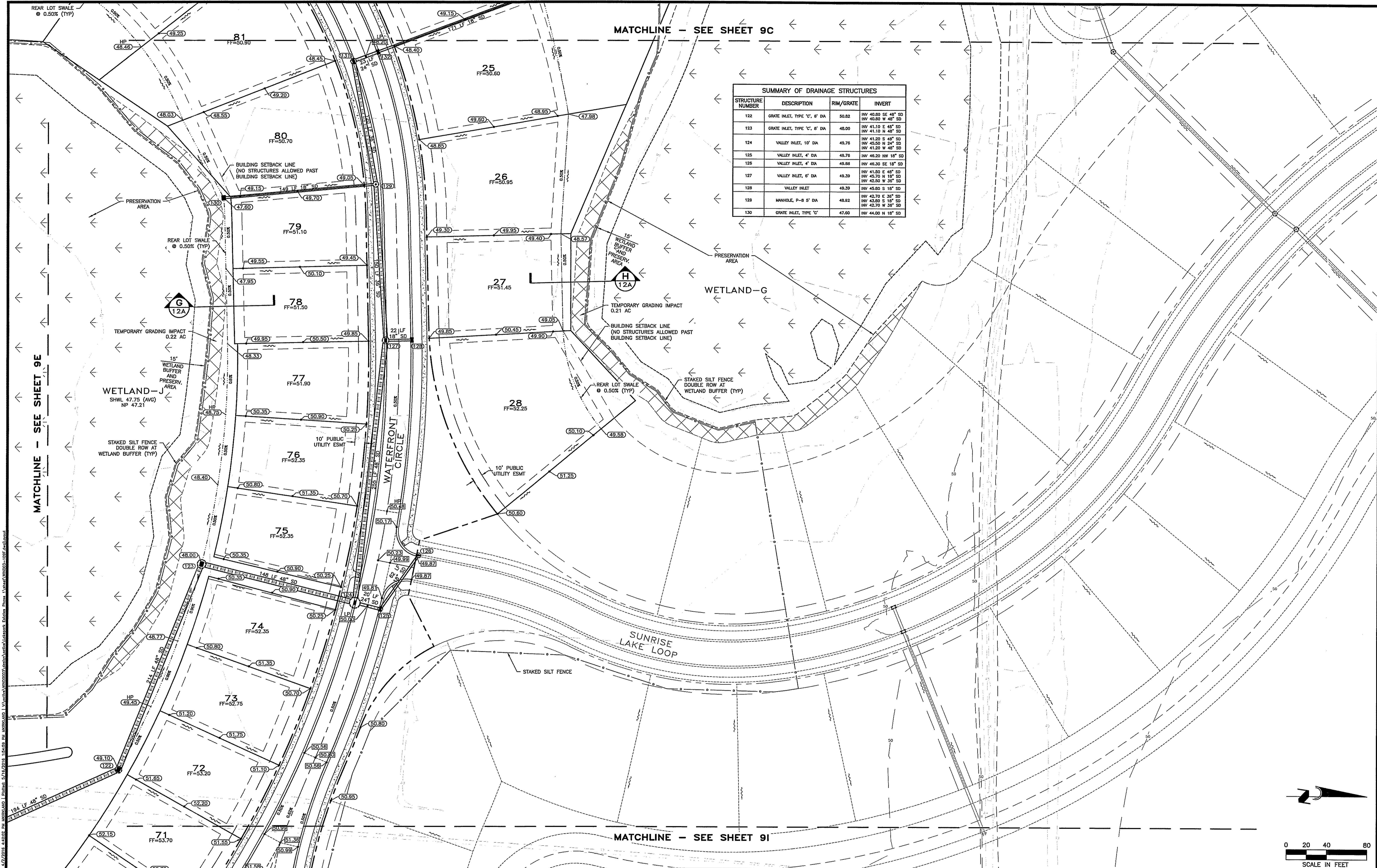
MATCHLINE - SEE SHEET 9E

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
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REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16
MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
 840 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

PRJ: **LAKEPARK ESTATES PHASE 1**
 SCALE: 1"=40'
 DATE: 04/01/16
 CLIENT: **WINDHAM DEVELOPMENT, INC.**
 TITLE: **PAVING GRADING AND DRAINAGE PLAN**



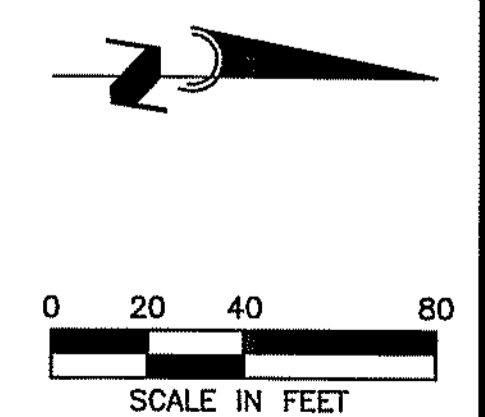
SUMMARY OF DRAINAGE STRUCTURES

STRUCTURE NUMBER	DESCRIPTION	RIM/GRATE	INVERT
122	GRATE INLET, TYPE 'C', 6' DIA	50.82	INV 40.80 SE 48" SD INV 40.80 W 48" SD
123	GRATE INLET, TYPE 'C', 6' DIA	48.00	INV 41.10 E 48" SD INV 41.10 N 48" SD
124	VALLEY INLET, 10' DIA	49.76	INV 41.20 S 48" SD INV 43.50 N 24" SD INV 41.20 W 48" SD
125	VALLEY INLET, 4' DIA	49.76	INV 46.30 NW 18" SD
126	VALLEY INLET, 4' DIA	49.68	INV 46.30 SE 18" SD
127	VALLEY INLET, 6' DIA	49.39	INV 41.50 E 48" SD INV 43.70 N 18" SD INV 42.50 W 38" SD
128	VALLEY INLET	49.39	INV 45.80 S 18" SD
129	MANHOLE, P-8 5' DIA	48.82	INV 42.70 E 38" SD INV 43.60 S 18" SD INV 42.70 W 38" SD
130	GRATE INLET, TYPE 'C'	47.60	INV 44.00 N 18" SD

MATCHLINE - SEE SHEET 9E

MATCHLINE - SEE SHEET 9C

MATCHLINE - SEE SHEET 9I



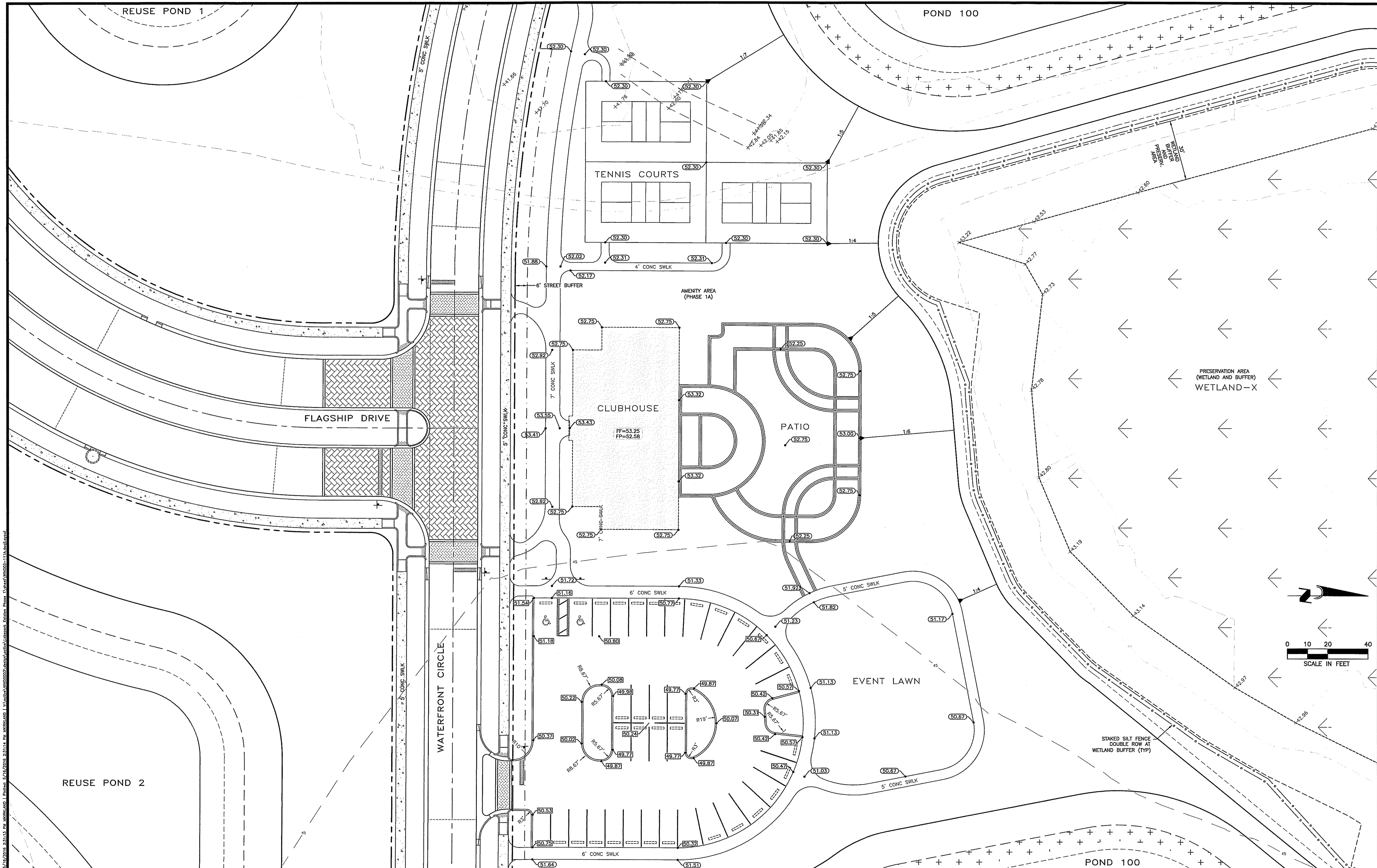
DATE: 02/22/16 10:16 AM PROJECT: SUNSHINE STATE ONE-CALL CENTER - PHASE 1 DRAWING: PAVING GRADING AND DRAINAGE PLAN SHEET: WIND0003-109F

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/09/16
MK	01/09/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
 3840 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

PROJECT: **LAKEPARK ESTATES - PHASE 1**
 SCALE: 1"=40'
 DATE: 04/01/16
 CLIENT: **WINDHAM DEVELOPMENT, INC.**
 TITLE: **PAVING GRADING AND DRAINAGE PLAN**



Date: 02/16/2016 10:16:20 AM Scale: 1/8"=20' Plot: 04/01/16 2:31:14 PM User: MKD 1: W:\Projects\Windham\003\AmenityArea\AmenityArea.dwg Plotter: HP DesignJet 5000 Series Plot Style: Windham.ctb

- NOTES:**
1. THIS AMENITY SITE IS PHASE 1A, WHICH IS A SEPARATE PHASE FROM PHASE 1 (LOTS, ROADS, PONDS, UTILITIES, ETC.)
 2. SEE THE SALES MODELS, SHEET 11B FOR ADDITIONAL INFORMATION.

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

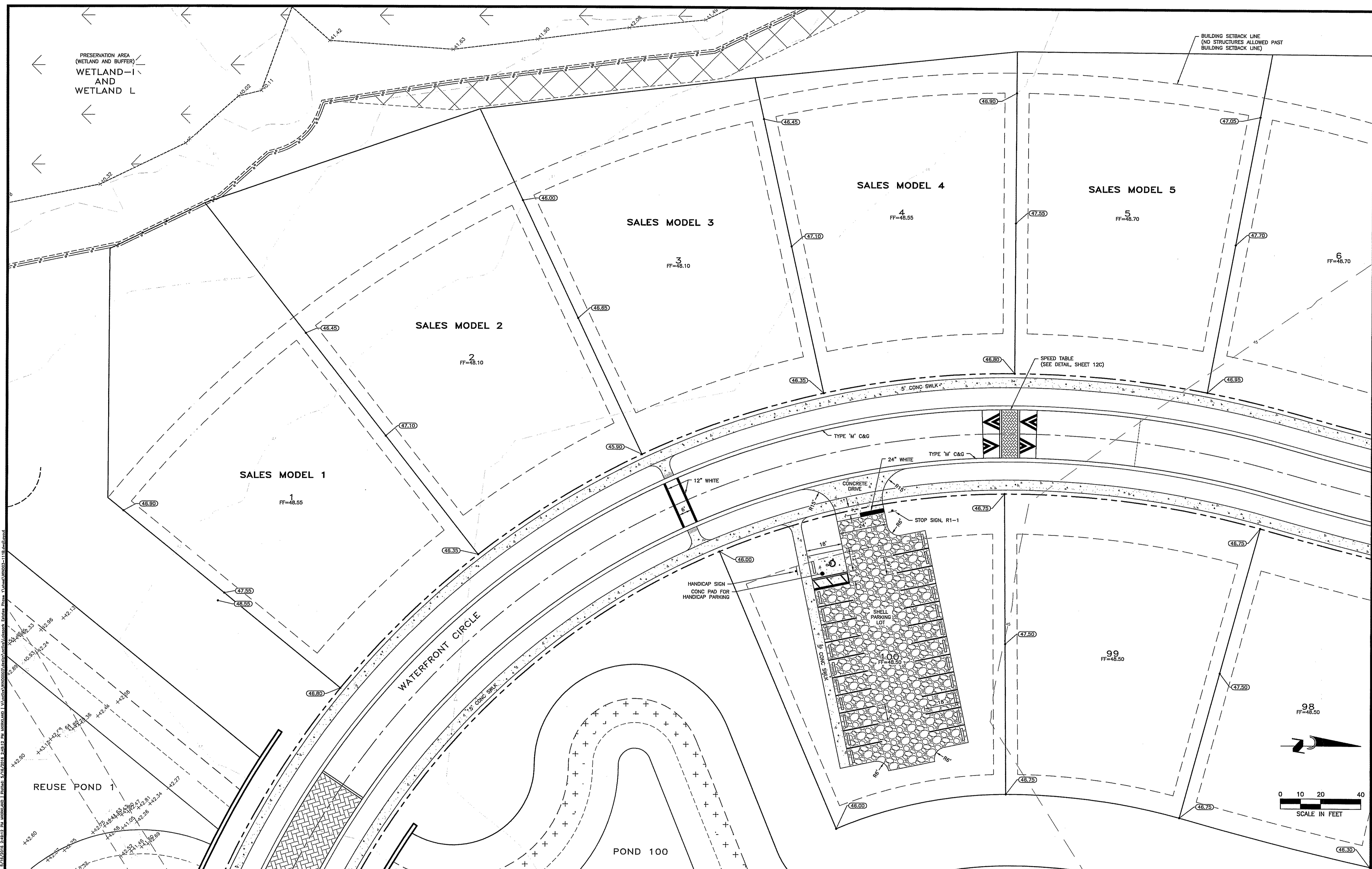
REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16
MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
 6340 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

LAKEPARK ESTATES PHASE 1
 DRAWN BY: MK
 CHECKED BY: SEAN R. CROWELL, P.E.
 APPROVED BY: [Signature]
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: AMENITY AREA SITE PLAN
 JOB NO: WIND003-111A
 DRAWING NO: 11A

PRESERVATION AREA
(WETLAND AND BUFFER)
WETLAND-I
AND
WETLAND L

BUILDING SETBACK LINE
(NO STRUCTURES ALLOWED PAST
BUILDING SETBACK LINE)



SALES MODEL 1
1
FF=48.55

SALES MODEL 2
2
FF=48.10

SALES MODEL 3
3
FF=48.10

SALES MODEL 4
4
FF=48.55

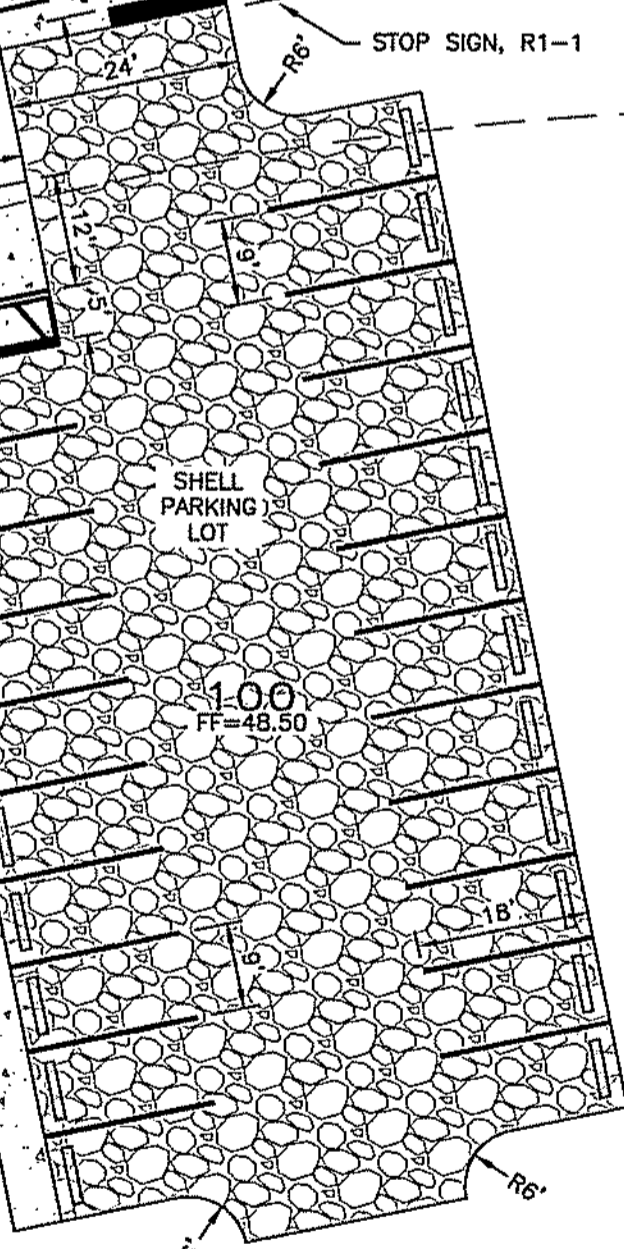
SALES MODEL 5
5
FF=48.70

6
FF=48.70

WATERFRONT CIRCLE

REUSE POND 1

POND 100



99
FF=48.50

98
FF=48.50

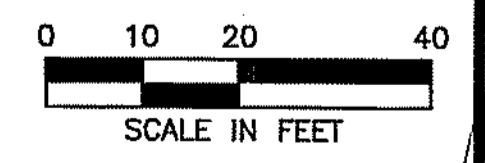
- NOTES:
1. THIS AMENITY SITE IS PHASE 1A, WHICH IS A SEPARATE PHASE FROM PHASE 1 (LOTS, ROADS, PONDS, UTILITIES, ETC.)
 2. DETAILED MODEL UNIT INFORMATION SHALL BE INCLUDED ONCE A BUILDER IS UNDER CONTRACT.
 3. SEE SHEET 14A FOR ADDITIONAL PAVEMENT MARKING NOTES.

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

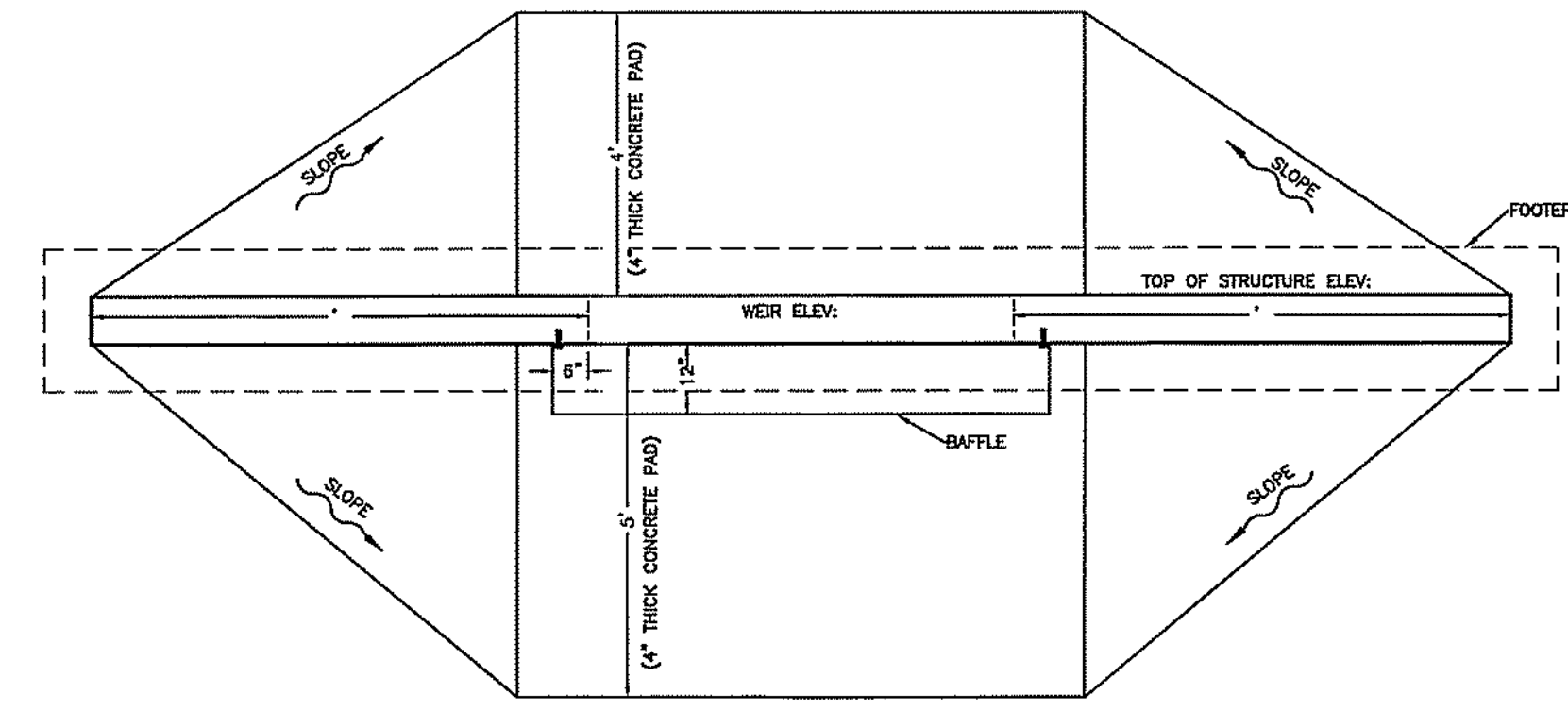
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BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
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ENGINEERING, INC.
2340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

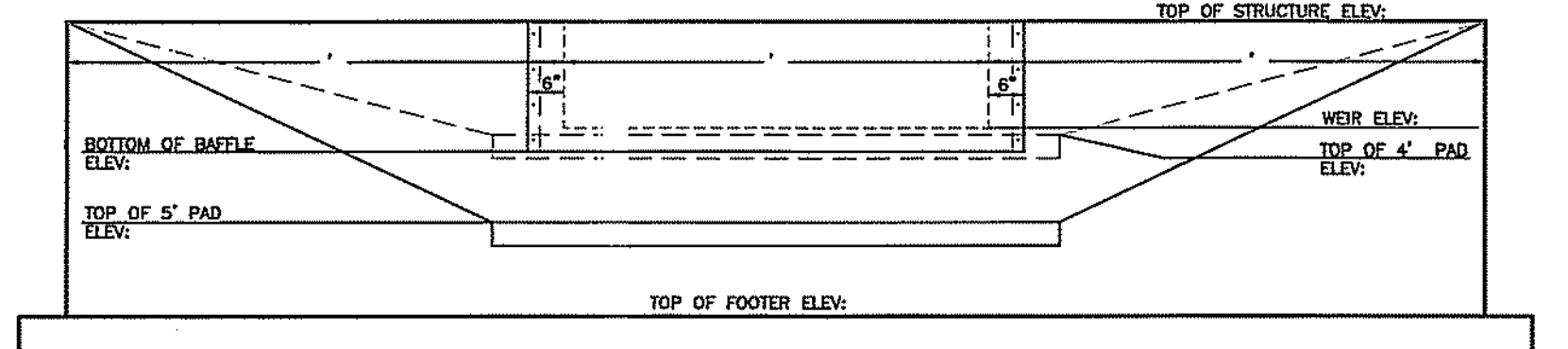
PROJECT: LAKEPARK ESTATES PHASE 1	DATE: 04/01/16	CLIENT: WINDHAM DEVELOPMENT, INC.	JOB NO: WIND0003
SCALE: 1"=20'	APPROVED BY: <i>[Signature]</i>	TITLE: TEMPORARY SALES FACILITY PLAN	DRWG. NO: 11B



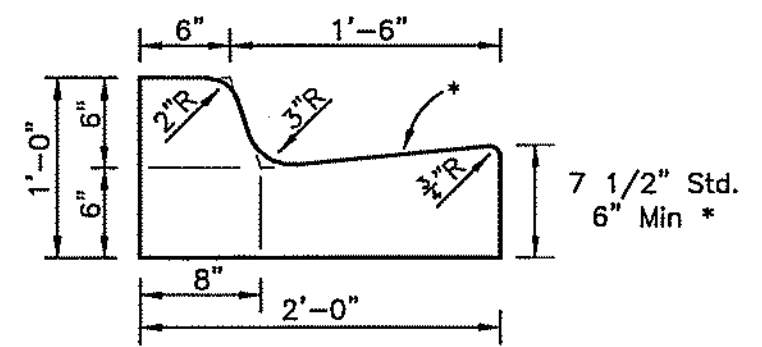
© AM Engineering 2016. Sheet: 5/16/2016 2:48:12 PM. USER: JLD. I:\Projects\LAKEPARK ESTATES PHASE 1\Drawings\WIND0003-11B.dwg



PLAN VIEW OF OVERFLOW STRUCTURE

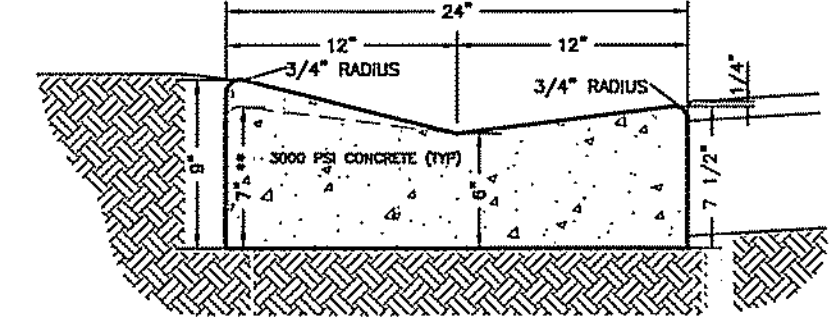


WEIR OPENING DETAIL
SHOP DRAWINGS TO BE SUBMITTED TO ENGINEER FOR REVIEW, PRIOR TO CONSTRUCTION



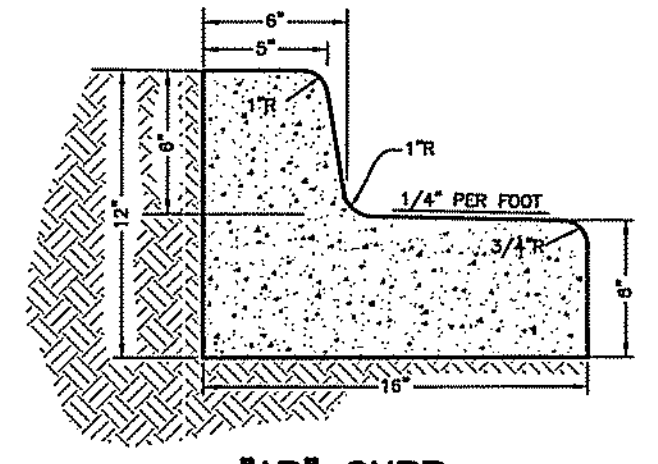
TYPE "F" CURB

* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

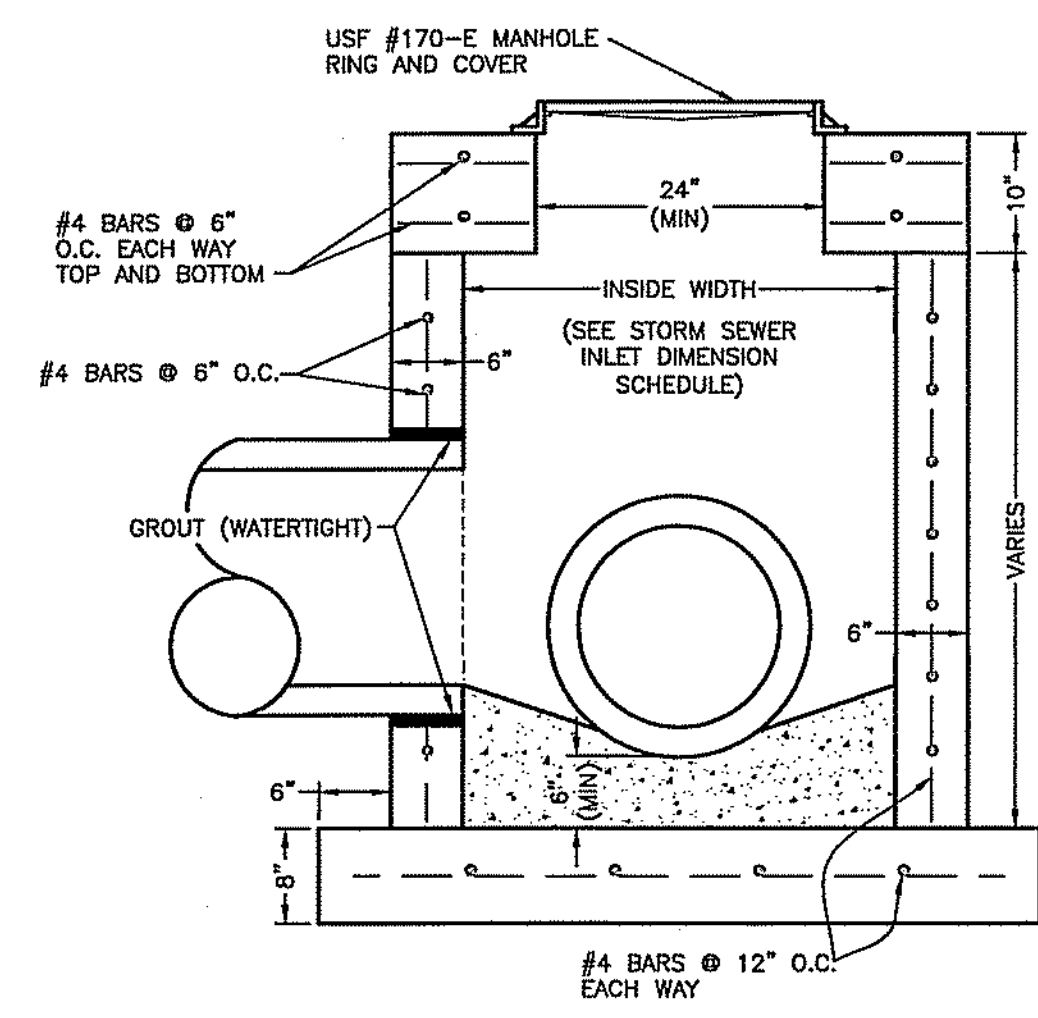


CONCRETE PAVEMENT DETAIL

TYPE "M" CURB
CURBS SHALL BE POURED IN ONE HOMOGENEOUS/ADHESIVE POUR. FOR CURB, GUTTER AND CURB AND GUTTER PROVIDE 1/8"-1/4" CONTRACTION JOINTS AT 10' CENTERS (MAX) PER FOOT INDEX 500 CURB, GUTTER AND CURB AND GUTTER EXPANSION JOINTS SHALL BE LOCATED IN ACCORDANCE SECTION 520 OF THE FOOT "STANDARD SPECIFICATIONS", INDEX NO. 300 OF THE "ROADWAY AND TRAFFIC DESIGN STANDARDS". FOR ADDITIONAL DETAILS, REFER TO FOOT.

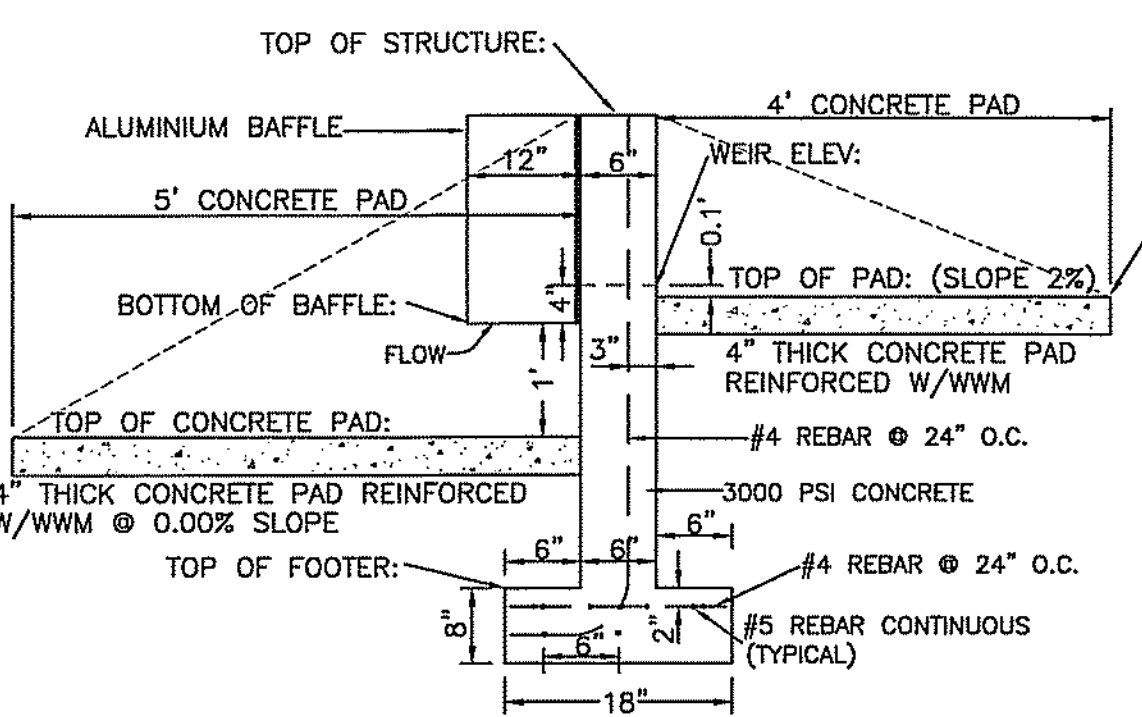


"AB" CURB
FOR LANDSCAPE ISLANDS SPILL MODE

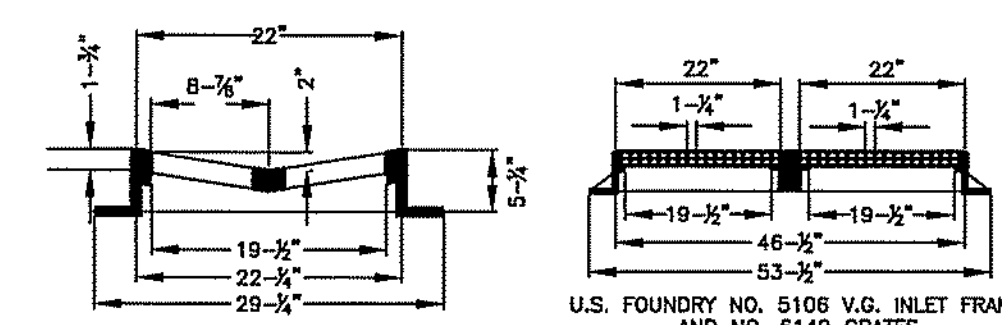


JUNCTION MANHOLE DETAIL

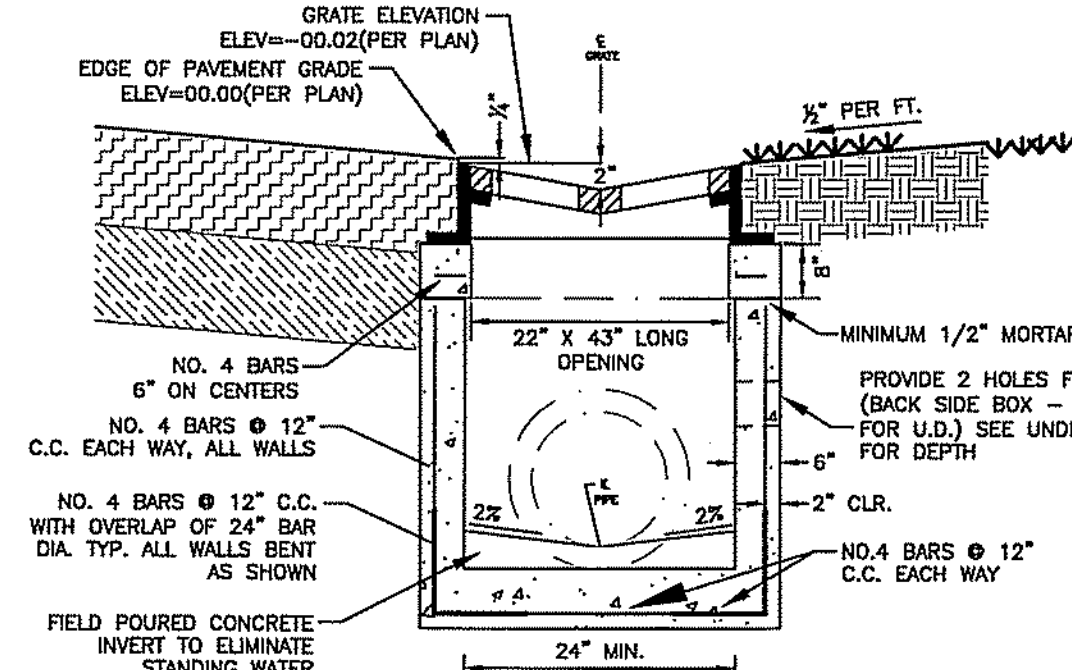
ALL INVERTS TO BE POURED CONCRETE IN DRAINAGE STRUCTURES ALL DRAINAGE STRUCTURES SHALL HAVE PAVED INVERTS. ALL ROADWAY CONCRETE TO BE 3000 PSI.



PROFILE OF OVERFLOW STRUCTURE
WEIR STRUCTURE DETAIL

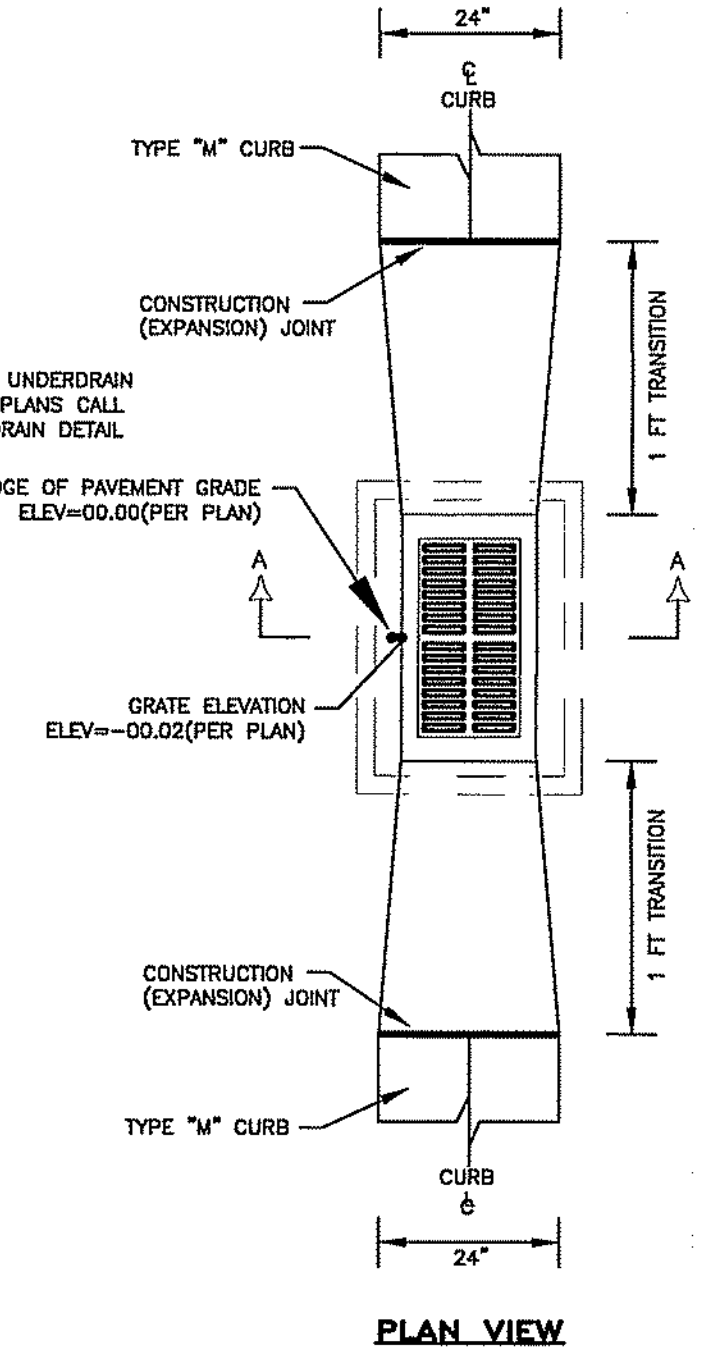


FRAME AND GRATES
COAT GRATES AND FRAME WITH ASPHALTIC PAINT

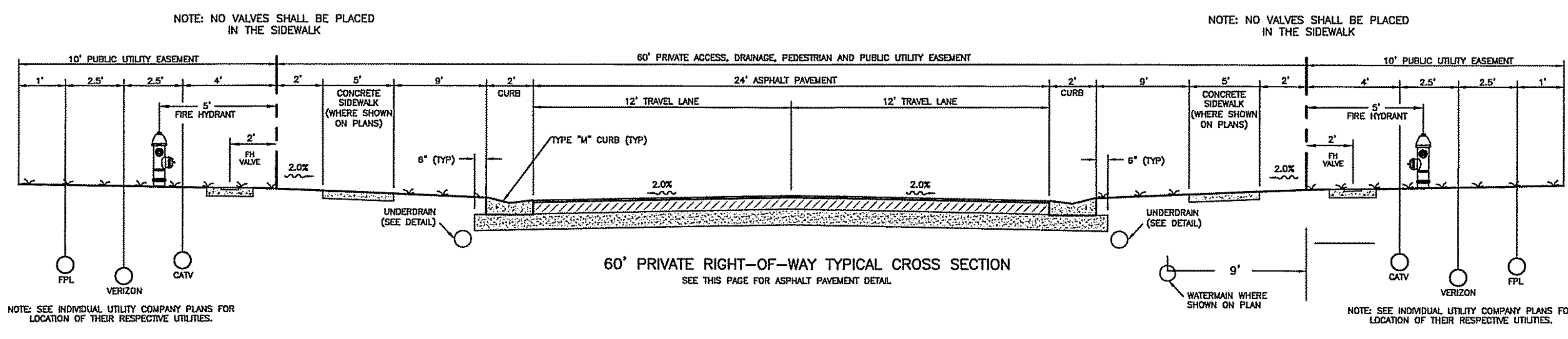


VALLEY GUTTER INLET DETAIL
(FOR USE WITH TYPE "M" CURB)

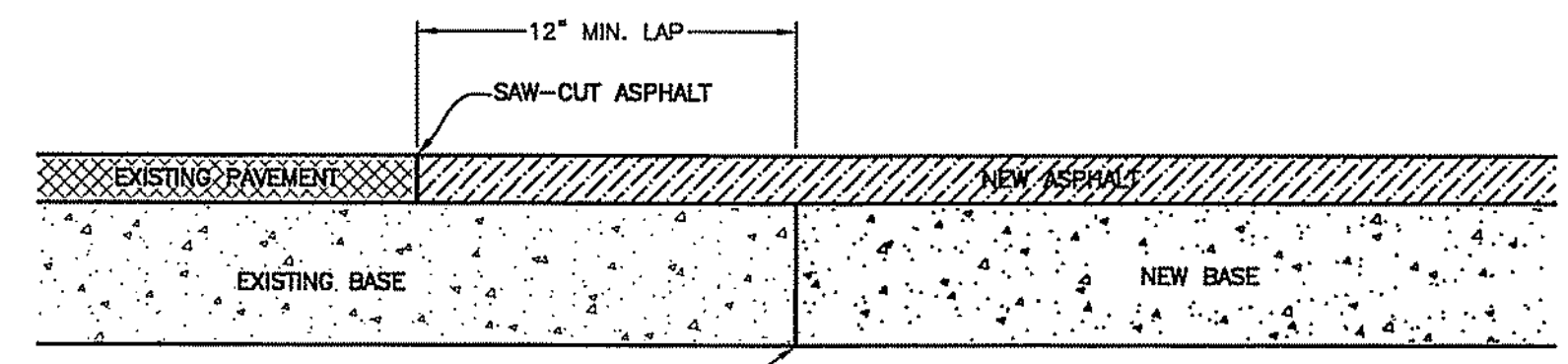
ALL CONCRETE SHALL BE 4,000 PSI @ 28 DAYS



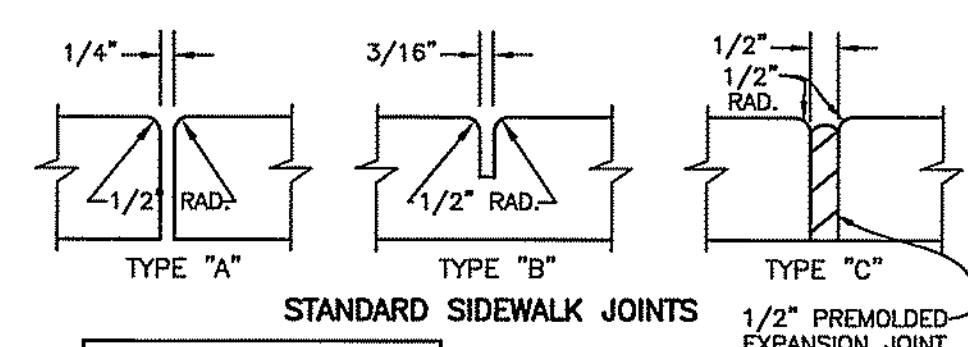
PLAN VIEW



60' PRIVATE RIGHT-OF-WAY TYPICAL CROSS SECTION
SEE THIS PAGE FOR ASPHALT PAVEMENT DETAIL.



CONNECTION OF EXISTING PAVEMENT TO PROPOSED NEW PAVEMENT

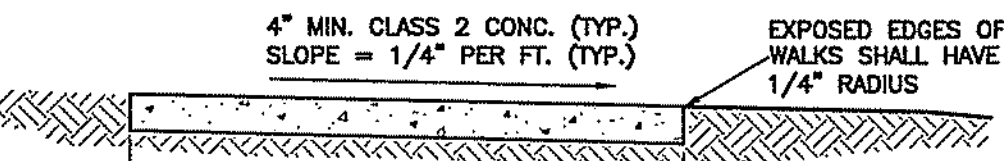


STANDARD SIDEWALK JOINTS

TABLE OF SIDEWALK JOINTS		TABLE OF SIDEWALK THICKNESS	
TYPE	LOCATION	THICKNESS	LOCATION
A	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.	4"	RESIDENTIAL AREAS
B	5'-0" CENTER TO CENTER ON SIDEWALKS.	6"	AT DRIVEWAYS AND OTHER AREAS
C	ANYWHERE SIDEWALK ADJUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. CONTINUOUS SIDEWALKS. SIDEWALKS NOT EXCEED 100 FEET.		

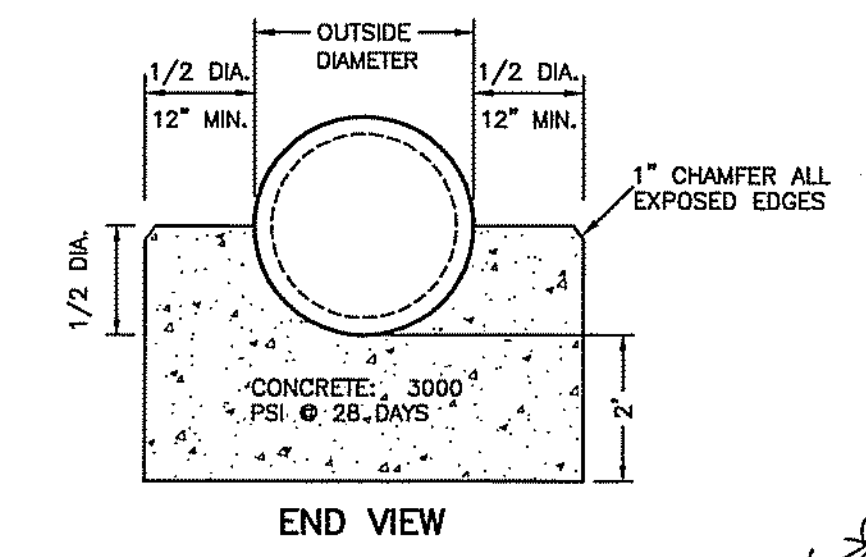
SIDEWALK NOTES:

- INSURE OFFSET FROM PROPERTY LINES MEET WITH THE APPROVED PLAN.
- THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE 3000 P.S.I. AT 28 DAYS.
- CONTRACTION JOINT CONSTRUCTION: SECTIONS NOT TO BE LESS THAN 4 FEET OR MORE THAN 10 FEET LONG.
- EXPANSION MATERIAL TO BE PLACED AT ALL DRIVEWAYS AND SIDEWALK INTERSECTIONS AND WHEN OPERATIONS CEASE FOR ANY CONSIDERABLE TIME. SIDEWALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM OF 100 FEET.
- THE PITCH OF THE SIDEWALK SHALL BE NO MORE THAN ONE QUARTER INCH PER FOOT TOWARDS THE ROAD, OR AS THE APPROVED PLAN SHOWS. THE INCLINE WILL NOT BE GREATER THAN 12:1.
- SIDE SLOPES ADJACENT TO SIDEWALKS SHALL NOT EXCEED 4:1.
- SOD SHALL BE PLACED WITHIN THE COUNTY RIGHT-OF-WAY FROM BACK OF CURB TO THE FACE OF THE SIDEWALK.
- ALL ORGANIC MATERIAL AND DEBRIS SHALL BE REMOVED, AREA GRADED AND COMPACTED PRIOR TO CONCRETE PLACEMENT.

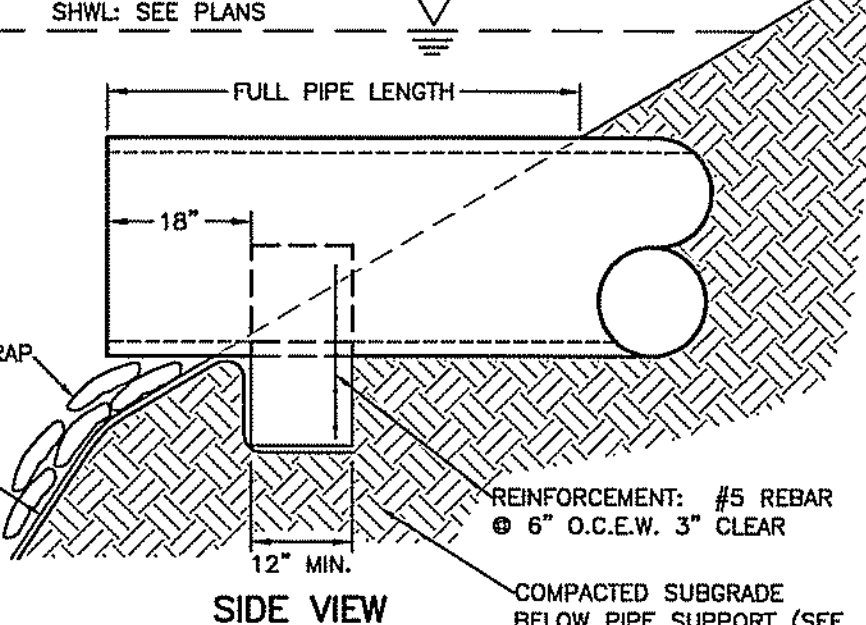


STANDARD SIDEWALK DETAIL - ONSITE

SEE FOOT INDEX #304 FOR SIDEWALK/CURB TRANSITION W/HANDICAP ACCESSIBILITY



END VIEW

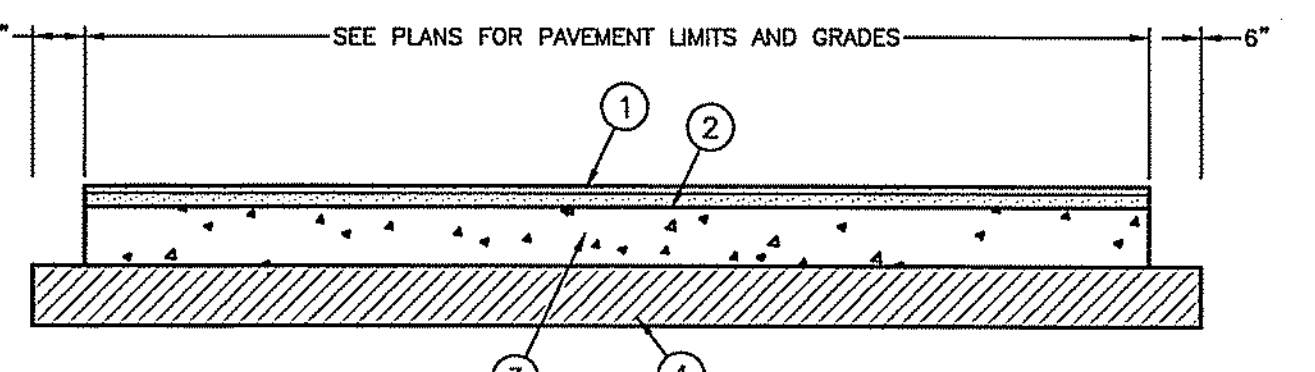


SIDE VIEW

PIPE SUPPORT DETAIL

MINIMUM COMPACTION SHALL BE ACCOMPLISHED BY USE OF A MOTORIZED DEVICE, IN 12" LIFTS. THE MINIMUM COMPACTION SHALL BE 95% IN ACCORDANCE WITH AASHTO T-180 STANDARDS.
ALL ROCK RIP-RAP SHALL BE PER FOOT STANDARD SPECIFICATIONS 530-2.2.

- ASPHALTIC CONCRETE WEARING SURFACE 1" THICK, TYPE S-III (SCTP-331) (SECOND LIFT)
- ASPHALTIC CONCRETE WEARING SURFACE 1.25" THICK, TYPE S-III (SCTP-331) (FIRST LIFT)
- BITUMINOUS PRIME COAT
- BASE ALTERNATES - 7" THICK CRUSHED CONCRETE (SCTP-204) OR 6" CEMENT STABILIZED BASE (SCTP-265)
- STABILIZED SUBGRADE - 8" THICK (MINIMUM LBR 40) (SCTP-160) COMPACTED TO 98% DENSITY, AASHTO T-180, MODIFIED PROCTOR. SUBGRADE SHALL BE FIRM AND UNYIELDING AND CONTAIN NO ORGANIC MATERIAL IN THE TOP 6"



ASPHALT PAVEMENT DETAIL

PAVEMENT NOTES

- THE ENGINEER OF RECORD HAS DETERMINED THAT THE SUB-BASE, BASE AND SURFACE COURSE COURSE SPECIFIED FOR ON-SITE PAVING IS SATISFACTORY FOR THE USE INTENDED)
- ALL PAVEMENT MARKINGS, SHALL BE "ALKYD THERMOPLASTIC" 90 MILS IN THICKNESS, EXCEPT FOR STRIPING OF PARKING SPACES WHICH SHALL BE PAINTED.
- A TWO FOOT WIDE STRIP OF SOD IS TO BE PROVIDED BEHIND ALL CURBS AND PAVEMENT EDGES. SOD OR GRASSING/MULCHING SHALL BE PROVIDED FOR ALL OTHER OPEN AREAS UNLESS NOTED OTHERWISE ON LANDSCAPE PLANS.

CALL BEFORE YOU DIG!
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1-800-432-4770
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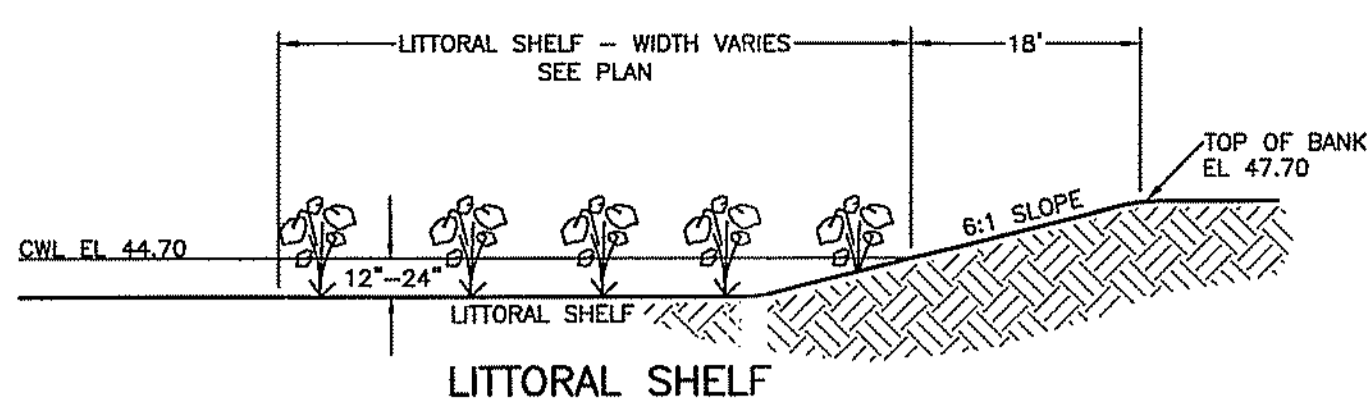
REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/09/16
MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

PROJ: LAKEPARK ESTATES PHASE 1
SCALE: N/A
DATE: 04/01/16
CLIENT: WINDHAM DEVELOPMENT, INC.
TITLE: PAVING GRADING AND DRAINAGE DETAILS

APPROVED BY: SEAN R. CROWELL, P.E.
FLORIDA CERTIFICATE NO. 58584
EB #4334

PHONE: (941) 377-9178

DRWN BY: MK
JOB NO: WIND003-112B
JOB NO: WIND0003
JOB NO: 12B



LITTORAL SHELF NOTES

POND 100 LITTORAL SHELF AREA = 54,278 SF
 POND 300 LITTORAL SHELF AREA = 13,055 SF

THE FOLLOWING PLANTS ARE PROPOSED ALONG WITH ESTIMATES OF THE NUMBER TO BE PLANTED:

SPECIES	% COMPOSITION	POND 100 NUMBER	POND 300 NUMBER
PICKEREL WEED	45	2,714	653
ARROWHEAD	45	2,714	653
GIANT SPIKE-RUSH	10	603	145
	100	6,031	1,451

PROPOSED SPECIES ARE SUITABLE FOR ALL DESTINATED LITTORAL ZONE DEPTHS.

PLANTS SHALL BE A 2" MINIMUM IN SIZE, OBTAINED FROM NURSERY STOCK, HEALTHY AND FREE OF DISEASE AT TIME OF PLANTING.

A PLANT SPACING OF 3' O.C. WILL BE USED FOR EMERGENTS (AND 5' O.C. FOR ANY FUTURE APPROVED SUPPLEMENTAL PLANTING OF NATIVE WATER LILIES)

ANY REQUESTED CHANGES TO SPECIES LIST FOR INITIAL AND/OR SUPPLEMENTAL PLANTING WILL BE SUBMITTED TO RESOURCE PROTECTION FOR APPROVAL. RESOURCE PROTECTION SHALL BE NOTIFIED WITHIN 7 DAYS OF PLANTING.

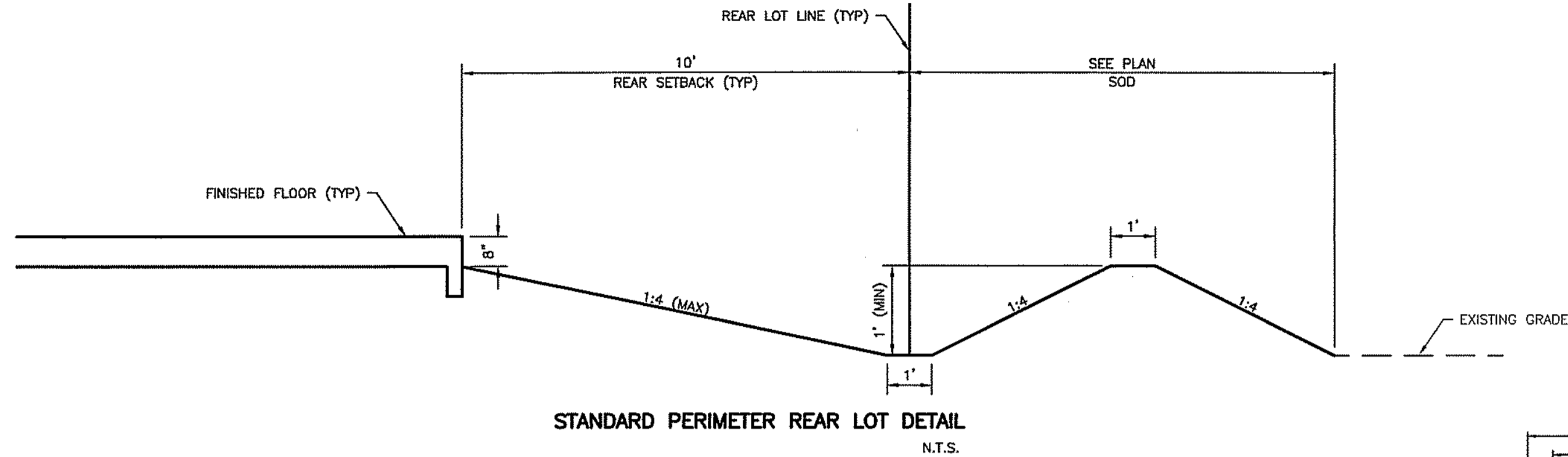
PLANTING WILL OCCUR DURING THE MONTHS OF APRIL THROUGH SEPTEMBER.

THE LITTORAL ZONES SHALL BE MONITORED SEMI-ANNUALLY FOR TWO YEARS (OR LESS IF DETERMINED SUCCESSFUL BY RESOURCE PROTECTION). REPORTS SHALL BE SUBMITTED TO RESOURCE PROTECTION WITHIN 30 DAYS OF DATA COLLECTION. MONITORING DATA SHALL INCLUDE PERCENT SURVIVAL OF PLANTED SPECIES, PERCENT COVERAGE OF PLANTED SPECIES, PERCENT COVERAGE OF NATURALLY RECRUITED DESIRABLE SPECIES, PERCENT COVERAGE OF NATURALLY RECRUITED UNDESIRABLE SPECIES, AND PHOTO-DOCUMENTATION FROM FIXED POINTS. THE DEVELOPER OR ASSIGNED (i.e. HOMEOWNERS ASSOCIATION) WILL BE RESPONSIBLE FOR CONTRACTING A QUALIFIED ENVIRONMENTAL CONSULTANT TO PERFORM MONITORING OF LITTORAL ZONES.

MAINTENANCE OF EXOTIC AND/OR NUISANCE SPECIES (i.e. TYPHA SUPP., LUDWIGIA PERUVIANA, PANDANUS REPENS) WITHIN LITTORAL ZONES WILL BE PERFORMED TO LIMIT SUCH UNDESIRABLES TO LESS THAN FIFTEEN PERCENT COVERAGE. SUPPLEMENTAL PLANTING WILL OCCUR AT THE END OF THE FIRST AND SECOND YEARS FOLLOWING INITIAL PLANTING IF SURVIVAL OF INDIVIDUAL SPECIES FALLS BELOW EIGHTY-FIVE PERCENT OR IF COVERAGE IS LESS THAN EIGHTY-FIVE PERCENT AND CONSTITUTES FEWER THAN THREE SPECIES. THE LITTORAL ZONES SHALL BE MAINTAINED IN PERPETUITY. THE DEVELOPER OR ASSIGNED (i.e. HOMEOWNERS ASSOCIATION) WILL BE RESPONSIBLE FOR CONTRACTING A QUALIFIED AND EXPERIENCED PLANT/VEGETATIVE MAINTENANCE CONTRACTOR TO PERFORM VEGETATIVE MAINTENANCE WITHIN LITTORAL ZONES.

A MONITORING AND MAINTENANCE BOND NEEDS TO BE SUBMITTED TO SARASOTA COUNTY RESOURCE PROTECTION TO COVER 100% OF THE COST FOR TWO YEARS OF MONITORING AND MAINTENANCE OF THE LITTORAL ZONES PRIOR TO EXCAVATION PURSUANT TO LDR ENVIRONMENTAL TECHNICAL MANUAL SECTION A.10. THIS BOND SHALL REMAIN IN EFFECT UNTIL THE LITTORAL ZONES ARE DETERMINED SUCCESSFUL BY RPS.

REQUIRED LITTORAL ZONE VEGETATION SHALL BE MAINTAINED IN PERPETUITY.

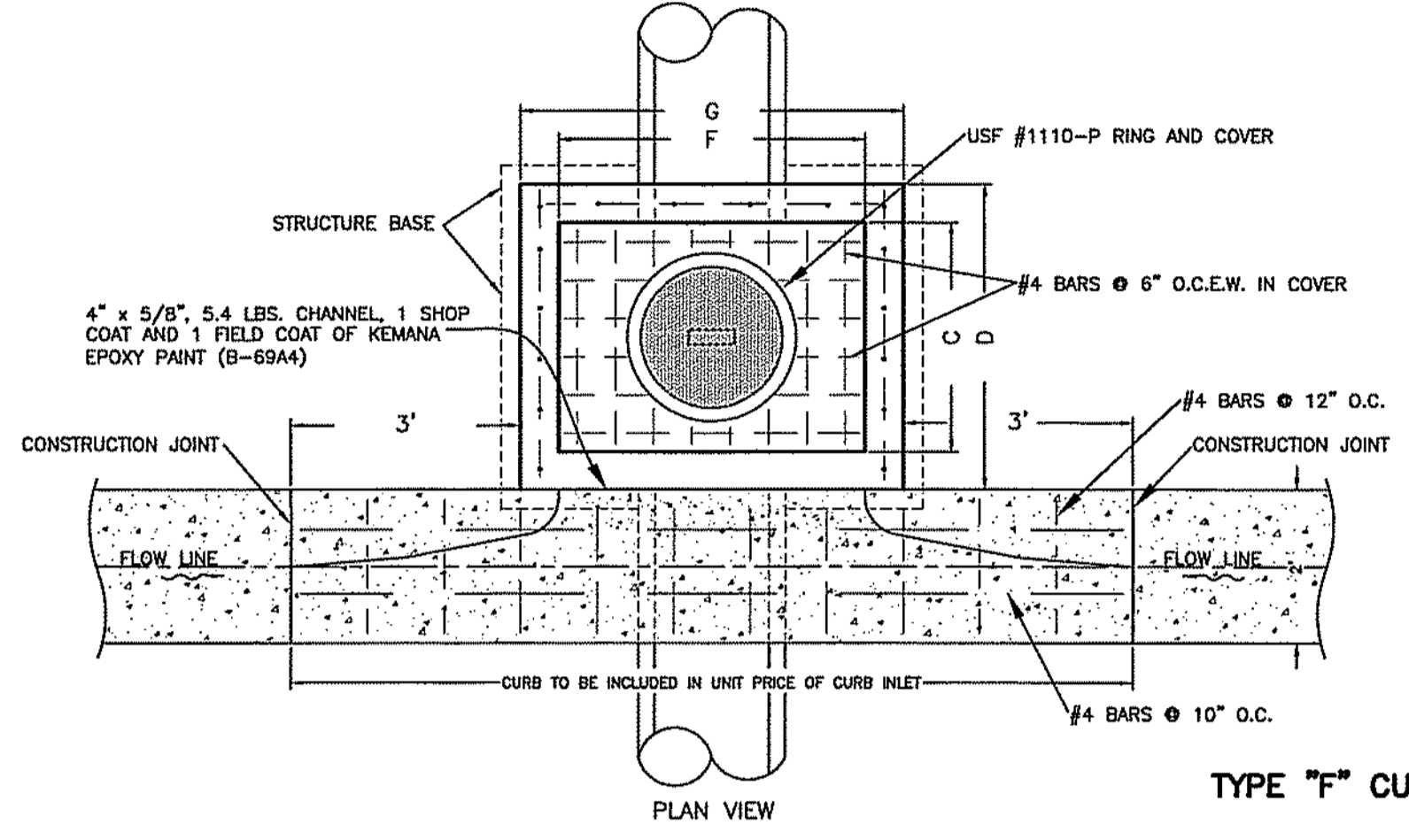
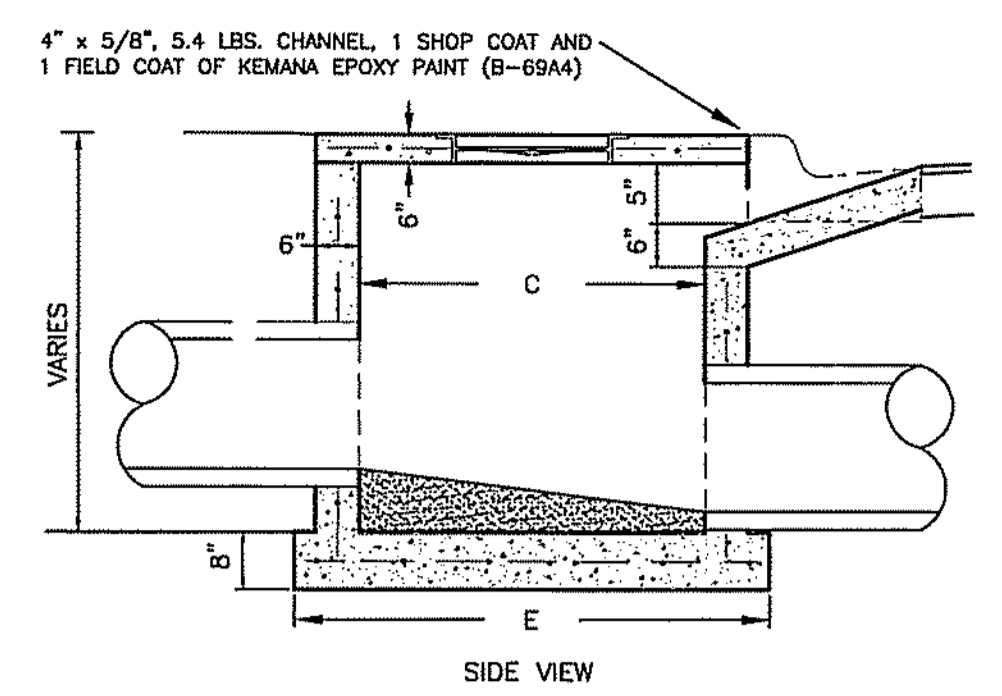


STANDARD PERIMETER REAR LOT DETAIL
N.T.S.

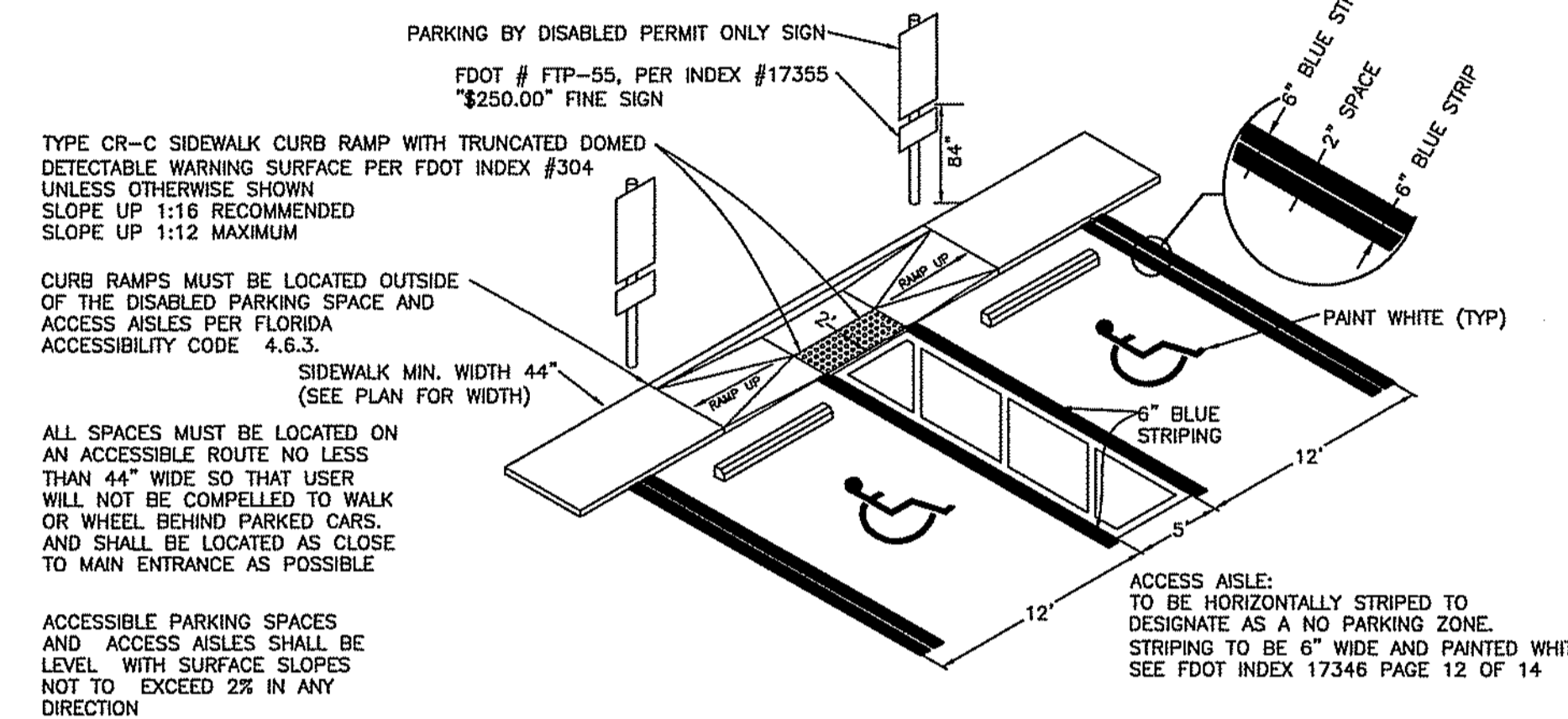
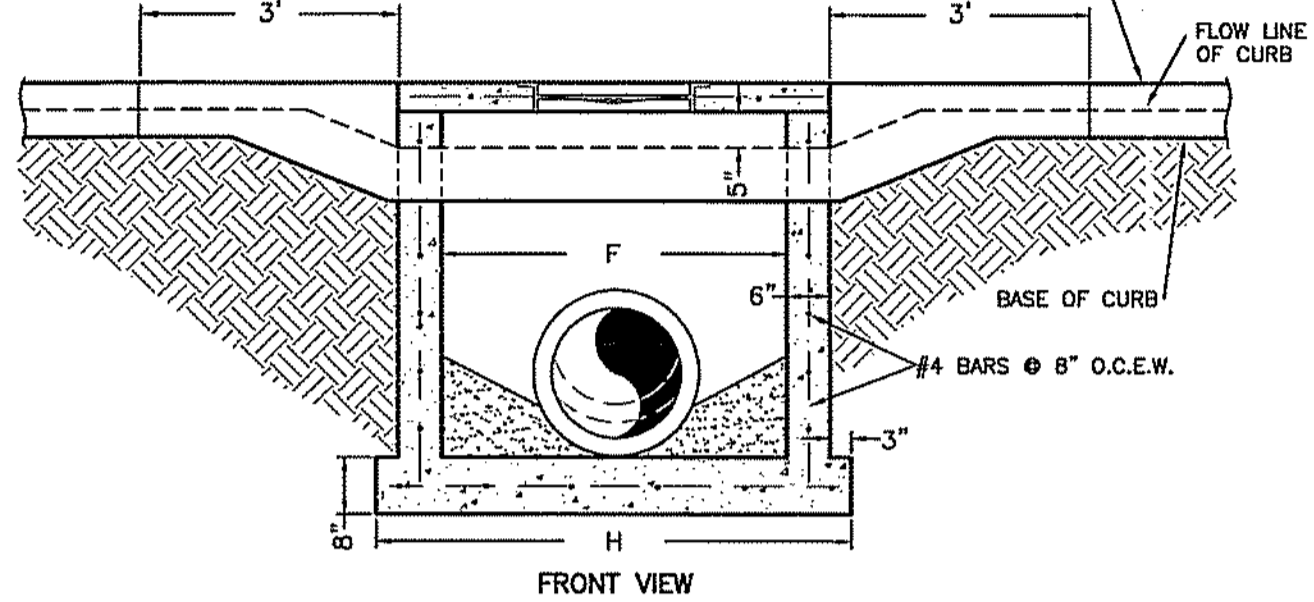
*** STORM SEWER INLET DIMENSION SCHEDULE:**

	C	D	E	F	G	H
1	3'-0"	4'-0"	4'-6"	4'-0"	5'-0"	5'-6"
2	3'-6"	4'-6"	5'-0"	4'-0"	5'-0"	5'-6"
3	4'-0"	5'-0"	5'-6"	4'-0"	5'-0"	5'-6"
4	4'-0"	5'-0"	5'-6"	5'-0"	5'-0"	5'-6"
5	4'-0"	5'-0"	5'-6"	5'-0"	5'-0"	5'-6"
6	4'-0"	5'-0"	5'-6"	7'-0"	8'-0"	8'-6"
7	4'-0"	5'-0"	5'-6"	8'-0"	9'-0"	9'-6"
8	5'-0"	6'-0"	6'-6"	5'-0"	6'-0"	6'-6"
9	5'-0"	6'-0"	6'-6"	6'-0"	7'-0"	7'-6"
10	6'-0"	7'-0"	7'-6"	6'-0"	7'-0"	7'-6"
11	6'-0"	7'-0"	7'-6"	7'-0"	8'-0"	8'-6"
12	6'-0"	7'-0"	7'-6"	8'-0"	9'-0"	9'-6"
13	7'-0"	8'-0"	8'-6"	7'-0"	8'-0"	8'-6"
14	7'-0"	8'-0"	8'-6"	8'-0"	9'-0"	9'-6"
15	8'-0"	9'-0"	9'-6"	8'-0"	9'-0"	9'-6"

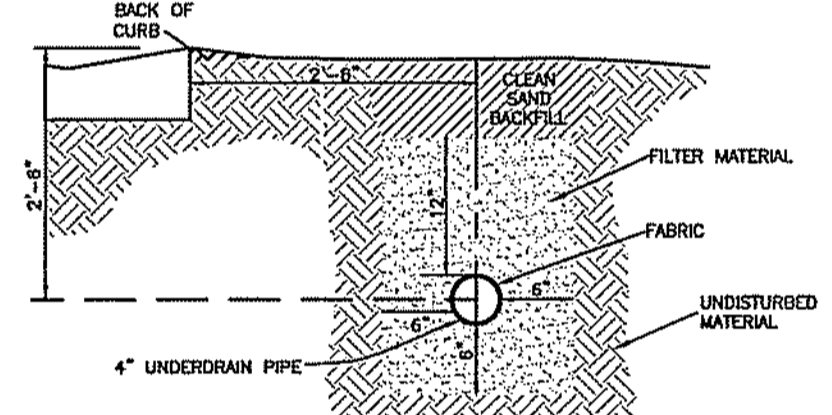
*BASED ON PRECAST STRUCTURES



TYPE "F" CURB INLET DETAIL



HANDICAP PARKING DETAIL



TYPICAL ROADSIDE UNDERDRAIN DETAIL

TESTING LAB REPORT CONFIRMING COMPLIANCE WITH THESE REQUIREMENTS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO PLACING FILTER MATERIAL.

NOTE: THE FILTER MATERIAL SPECIFIED IS SUITABLE FOR THE INTENDED APPLICATION.

ROADSIDE UNDERDRAIN:

4" SLOTTED AND PERFORATED AS MANUFACTURED BY AGS (ADVANCED DRAINAGE SYSTEM) OR EQUAL APPROVED BY COUNTY ENGINEER. THE PIPE SHALL BE INSTALLED WITH THE SLOTTED OR PERFORATED SIDE TO THE ROADWAY. THE FABRIC SHALL BE FACTORY INSTALLED AND SHALL COVER ALL SPACINGS BETWEEN UNDERDRAIN PIPES FROM END TO END AND BE INSTALLED ON EQUAL APPROVED BY THE COUNTY ENGINEER. SLOTTED AREA SHOULD BE INSTALLED UPWARD PER FOOT. BACKFILLING MATERIAL SHOULD HAVE GRAIN SIZE DISTRIBUTION MEETING THE FOLLOWING GRADATIONS:

SIZE	% PASSING (BY WEIGHT)
3/8"	90 TO 100
#4	60 TO 100
#10	20 TO 80
#20	10 TO 50
#100	0 TO 10
#200	0 TO 5

THE LOCAL MATERIAL (GRANFIELD SAND) PROVIDED BY SMR AGGREGATES, INC. MAY BE ACCEPTABLE FOR USE FOR ROADSIDE UNDERDRAIN. A CURRENT SIEVE ANALYSIS FROM SMR SHALL BE PROVIDED TO BOTH THE ENGINEER AND SARASOTA COUNTY (PRIOR TO INSTALLATION FOR APPROVAL).

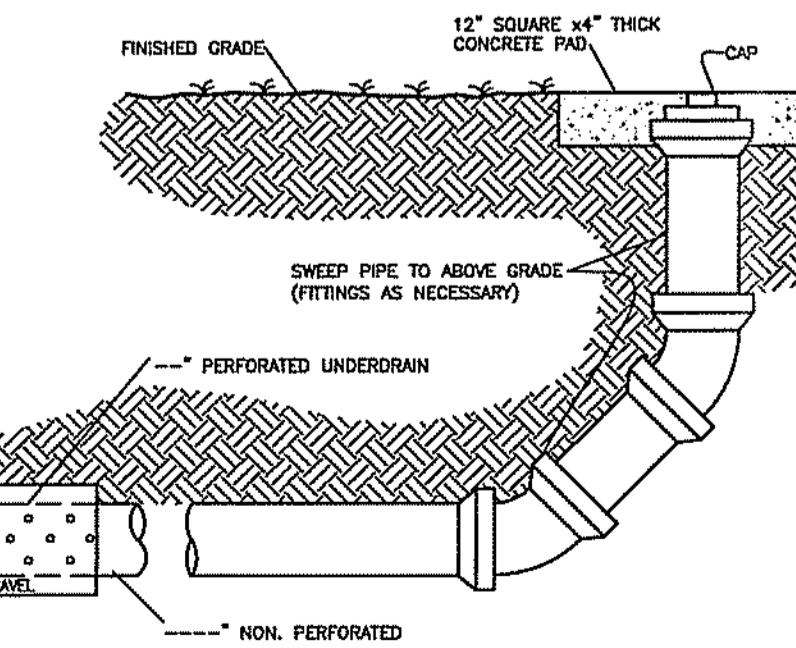
THE FILTER MATERIAL SHALL BE SUEDA SAND COMPOSED ONLY OF NATURALLY OCCURRING HARD DURABLE, UNCOATED GRAINS OF QUARTZ.

CLEANOUTS:

CLEAN-OUT POINTS SHALL BE PROVIDED AS NECESSARY SO THAT NO PORTION OF THE UNDERDRAIN SHALL BE MORE THAN 250 FEET FROM AN OPENING.

BACKFILLING:

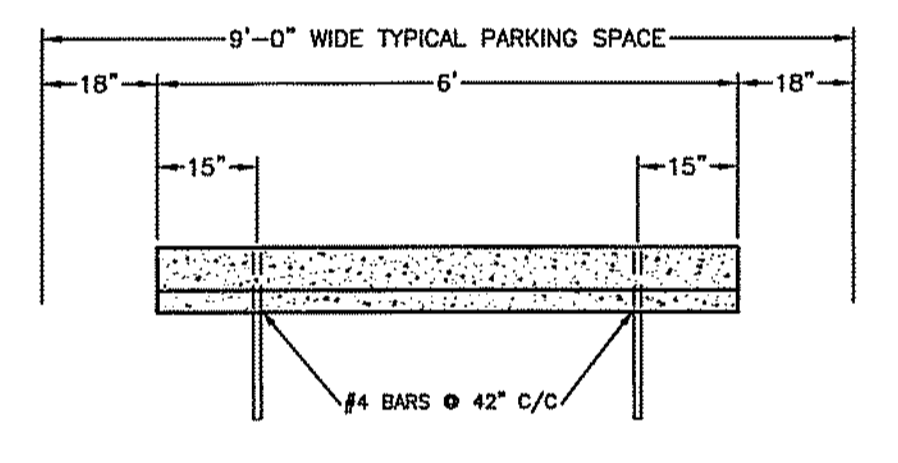
TRENCH SHALL BE BACKFILLED IN SUCH A MANNER AS TO AVOID DAMAGE TO PIPE OR BARBER OR DISPLACEMENT OF THE FILTER MATERIAL. THE BACKFILL SHALL BE COMPACTED TO A DENSITY EQUAL TO THE ADJACENT SOILS.



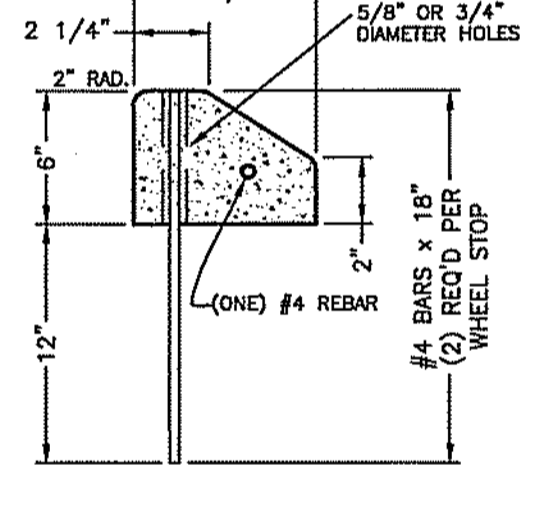
UNDERDRAIN CLEANOUT DETAIL

UNDERDRAIN NOTE:

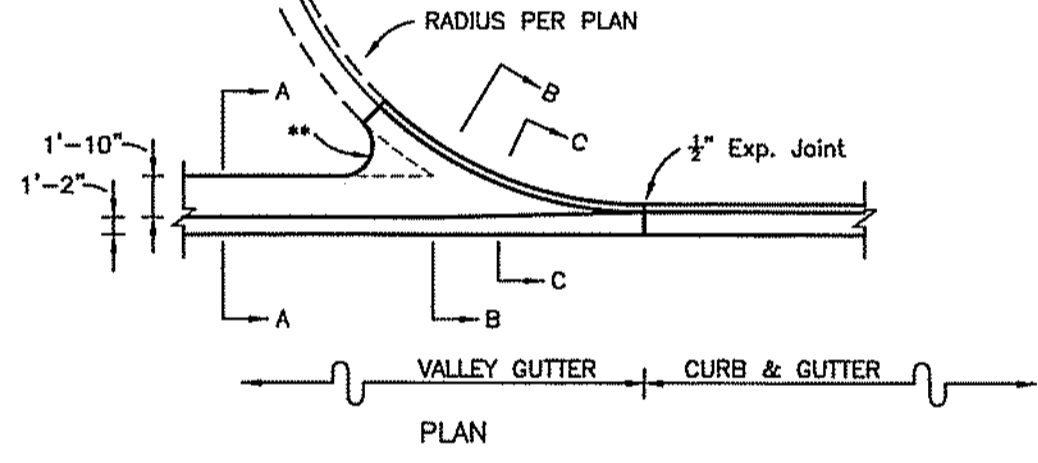
UNDERDRAINS SHALL BE PLACED THE FULL LENGTH OF THE CURB (BOTH SIDES OF THE ROADWAY). LENGTH OF UNDERDRAIN MAY BE REDUCED OR ELIMINATED DO TO FUTURE GEOTECHNICAL REPORT.



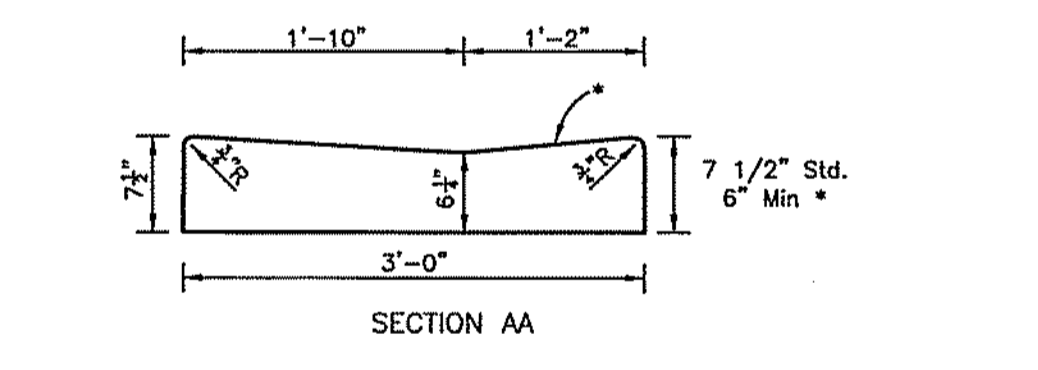
CONCRETE WHEEL STOP DETAIL



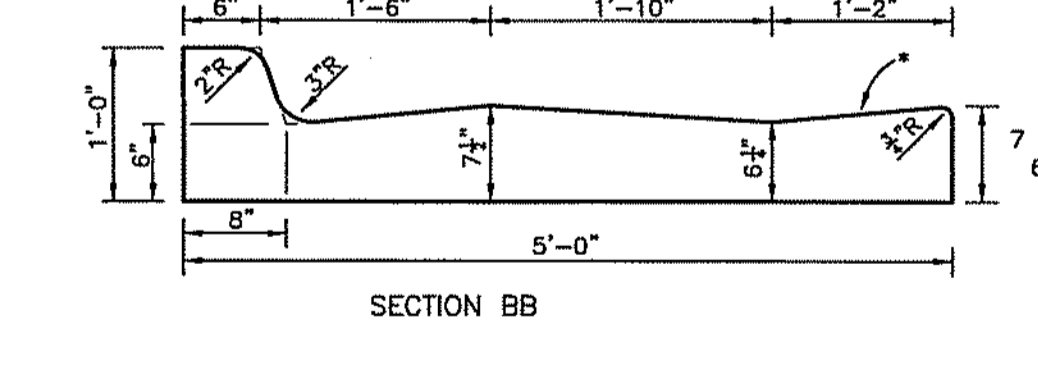
SECTION THRU WHEEL STOP



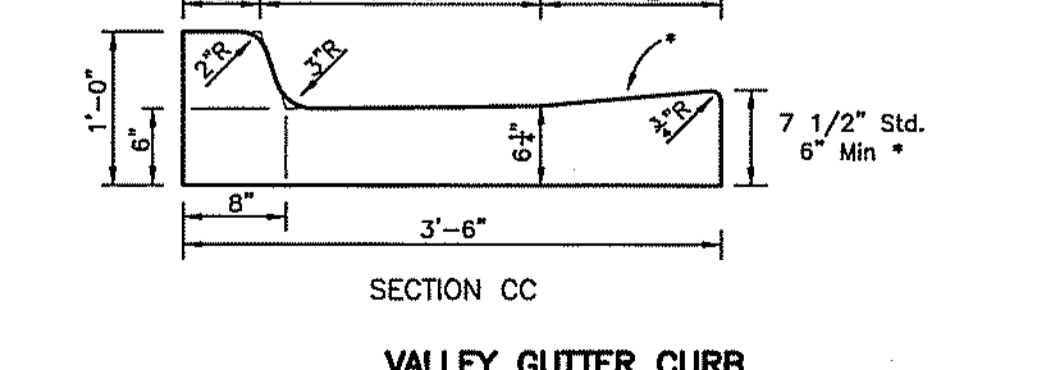
VALLEY GUTTER CURB



SECTION AA



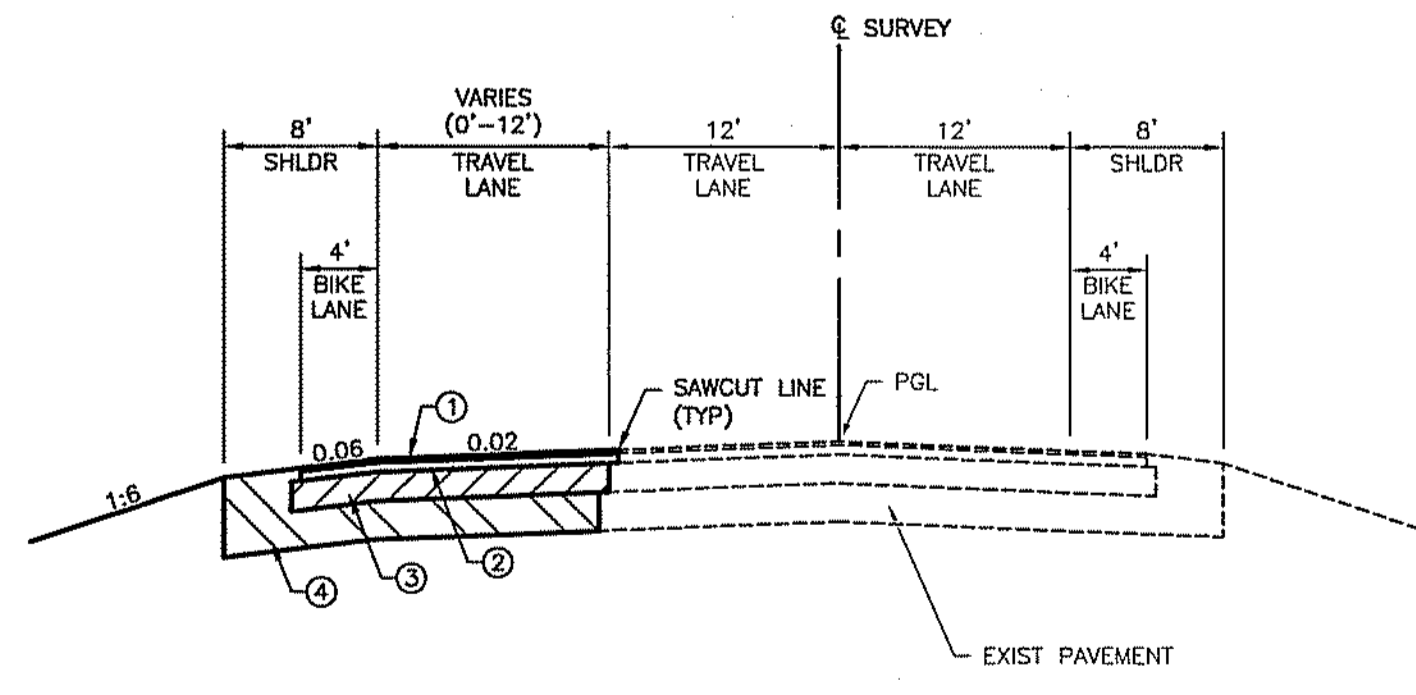
SECTION BB



SECTION CC

* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

** 2' RADIUS



FRUITVILLE ROAD TYPICAL WIDENING SECTION

FRUITVILLE ROAD
 STA 11+99.37 TO STA 16+79.37 (TRANSITION 2-LANE TO 3-LANE)
 STA 16+79.37 TO STA 24+53.28 (FULL SECTION)
 STA 24+53.28 TO STA 31+73.28 (TRANSITION 3-LANE TO 2-LANE)

ROAD WIDENING PAVEMENT DESIGN:

1" ASPHALTIC CONCRETE FRICTION COURSE, TYPE FC-3 (SCIP-337) AND 3" ASPHALTIC CONCRETE STRUCTURAL COURSE, TYPE S-1 (SCIP-331)

2" BITUMINOUS PRIME COAT

3" BASE ALTERNATES - 8" THICK CRUSHED CONCRETE (MINIMUM LER 100) (SCIP-204) OR 9" CENT STABILIZED BASE (SCIP-205) OR 5" ASPHALT BASE COURSE, TYPE 3 ABG (SCIP-286)

4" STABILIZED SUBGRADE - 12" THICK (MINIMUM LER 40) (SCIP-160) COMPACTED TO 98% DENSITY, MOIST 1-110, MODIFIED PROCTOR. SUBGRADE SHALL BE FIRM AND UNYIELDING AND CONTAIN NO ORGANIC MATERIAL IN THE TOP 6"

CALL BEFORE YOU DIG!
 "SUNSHINE STATE ONE-CALL CENTER"
 1-800-432-4770

THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS

BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16
MK	01/09/16	PER SARASOTA COUNTY COMMENTS 12/16/15

LAKEPARK ESTATES PHASE 1

ENGINEERING, INC.
 8340 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: PAVING GRADING AND DRAINAGE DETAILS

SCALE: N/A
 APPROVED BY: [Signature]
 DRAWN BY: MK
 JOB NO.: WIND003-112C
 JOB NO.: WIND003
 DWG. NO.: 12C

NPDES REQUIREMENTS:

FEDERAL LAW PROHIBITS ALL POINT SOURCE DISCHARGE OR POLLUTANTS, WHICH INCLUDES THE DISCHARGE OF STORMWATER ASSOCIATED WITH LARGE (GREATER THAN 5 ACRES) CONSTRUCTION ACTIVITIES OR SMALL (LESS THAN 5 ACRES AND GREATER THAN 1 ACRES) CONSTRUCTION ACTIVITIES, TO WATERS OF THE UNITED STATES WITHOUT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. UNDER THE STATE OF FLORIDA'S AUTHORITY TO ADMINISTER THE NPDES STORMWATER PROGRAM, OPERATORS THAT HAVE STORMWATER DISCHARGE ASSOCIATED WITH LARGE OR SMALL CONSTRUCTION ACTIVITIES TO SURFACE WATERS OF THE STATE, INCLUDING THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4, I.e., TOWN, CITY OR COUNTY), SHALL OBTAIN COVERAGE EITHER UNDER A GENERIC PERMIT OR AN INDIVIDUAL PERMIT.

THE NPDES PERMIT REQUIRES INSPECTIONS ONE (1) TIME PER WEEK AND WITHIN 24 HOURS FOLLOWING A 0.5-INCH RAINFALL EVENT OF ALL BEST MANAGEMENT PRACTICES (BMP'S) AND EROSION CONTROL MEASURES. AS AUTHORIZED BY THE OWNER, THE ENGINEER OF RECORD WILL MAKE PERIODIC INSPECTIONS AND DOCUMENT COMPLIANCE IN ACCORDANCE WITH THE NPDES PERMIT. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE WEEKLY INSPECTIONS AND REQUIRED MAINTENANCE OF THE BMP'S AND EROSION CONTROL MEASURES AND THE POST-RAINFALL EVENT INSPECTIONS. THE INSPECTIONS MUST DOCUMENT COMPLIANCE WITH THE NPDES PERMIT OR CORRECTION ACTIONS NEEDED AND/OR TAKEN AND BE RECORDED ON THE STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM. THE CONTRACTOR CAN CONTACT FDEP AT 850-245-7522 OR VISIT THE FDEP WEBSITE AT WWW.FDEP.STATE.FL.US FOR ADDITIONAL INFORMATION RELATING TO THE SWPPP AND THE NPDES PERMIT.

THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FROM THE ENGINEER OF RECORD (EOR) PRIOR TO SUBMITTING A CONSTRUCTION BID AND SHALL INCLUDE ALL MONIES NECESSARY TO ENSURE THAT THE SWPPP IS FOLLOWED DURING THE CONSTRUCTION DURATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL PRACTICES DEFINED IN THE SWPPP AND ASSOCIATED FINES THAT MAY BE IMPOSED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AGENCY (FDEP) FOR NOT COMPLYING WITH THE NPDES REQUIREMENTS CONTAINED IN THE SWPPP AND THE NPDES REGULATIONS. THE COSTS FOR COMPLYING WITH THE SWPPP AND THE NPDES PERMIT SHALL BE INCLUDED IN THE CONTRACTORS CONSTRUCTION BID.

SWPPP SEQUENCE OF EVENTS

1. SURVEYORS STAKEOUT SILT SCREEN LOCATION
2. SILT SCREEN INSTALLED
3. CLEARING AND GRUBBING OPERATIONS
4. REPAIR ALL SILT SCREEN DAMAGED DURING CLEARING AND GRUBBING
5. CONSTRUCT SEDIMENTATION BASINS FOR DEWATERING
6. EARTH MOVING-CONSTRUCT LAKES, FILL LOTS, ROADS, SWALES, AND BERMS
7. FINAL GRADING OF SLOPES
8. INSTALL SWALES OR BERMS TO PROTECT SLOPES
9. SOD OR SEED SLOPES
10. BMP'S TO BE MAINTAINED THROUGHOUT ALL CONSTRUCTION ON THE SITE
11. MAINTENANCE AND INSPECTIONS

GENERAL NOTES

1. MEANS OF VEGETATION, EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED AS DESCRIBED IN THE CONTROLS SECTION OF THE POLLUTION PREVENTION PLAN AND WILL BE MAINTAINED TO ENSURE THAT THEY ARE EFFECTIVE. ANY ADDITIONAL MEASURES ARE NEEDED, THEY WILL BE IMPLEMENTED PRIOR TO CONTINUING CONSTRUCTION ACTIVITIES.
2. A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL INSPECT ALL POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MS4; DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED; AREAS USED FOR STORAGE OF MATERIAL THAT ARE EXPOSED TO PRECIPITATION; STRUCTURAL CONTROLS; AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER.
3. MAINTENANCE OF EROSION AND SILTATION CONTROL DEVICES: SILT FENCE, HAY BALES AND OTHER SILTATION AND EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY BY THE CONTRACTOR DURING CONSTRUCTION. ANY INSTALLATION THAT HAS BEEN DAMAGED OR DISPLACED COMPONENTS, SHALL BE REPLACED OR REPAIRED IMMEDIATELY.
4. MAINTENANCE OF EROSION AND SILTATION CONTROL DEVICES: DURING DEWATERING: PRIOR TO COMMENCING DEWATERING THE CONTRACTOR SHALL INSPECT THE TEMPORARY SEDIMENT, SUMP, SILT FENCE, HAY BALES AND OTHER COMPONENTS OF THE SILTATION AND EROSION CONTROL SYSTEM. DAMAGED OR DISPLACED COMPONENTS SHALL BE REPLACED OR REPAIRED PRIOR TO STARTING DEWATERING.

EROSION AND SILTATION CONTROL:

THE PROPOSED SILT FENCE WILL BE PLACED AT THE SITE PERIMETER PRIOR TO BEGINNING CLEARING OR DEMOLITION. THE SILT FENCE WILL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION WHICH IS ESTIMATED TO BE NINE MONTHS. ADDITIONAL EROSION CONTROL MEASURES SUCH AS FILTER CLOTH OVER INLET GRATES AND HAY BALES AT INLETS WILL BE IMPLEMENTED AS REQUIRED DURING CONSTRUCTION. FINAL STABILIZATION OF THE SITE WILL OCCUR AT THE END OF CONSTRUCTION WITH THE INSTALLATION OF THE LANDSCAPING. INTERIM STABILIZATION IN SELECT AREAS SUCH AS THE FILL SLOPE WILL BE IMPLEMENTED AS CONSTRUCTION ALLOWS.

A GRAVEL AREA LOCATED INSIDE THE PROPERTY AT THE CONSTRUCTION ENTRANCE WILL BE USED TO REDUCE SOIL TRACKING FROM THE SITE.

THE MAINTENANCE SCHEDULE FOR THE EROSION AND SILTATION CONTROL SYSTEM SHALL BE AS FOLLOWS:

1. DAILY INSPECTION OF THE PERIMETER SILT FENCE FOR DAMAGE OR BREACHES. REPAIR AS NECESSARY.
2. WEEKLY INSPECTION OF GRAVEL AREA AT CONSTRUCTION ENTRANCE. ADD GRAVEL AS REQUIRED TO MAINTAIN EFFECTIVENESS.
3. STABILIZE SLOPES WITH SOD AS SOON AS FINISHED GRADING IS COMPLETE. WEEKLY INSPECTION OF SODDED SLOPES AND REPAIR OF ANY WASHOUTS OR ERODED AREAS.
4. DAILY INSPECTION OF ADJOINING ROADWAY. SWEEP PAVEMENT AND GUTTERS AS REQUIRED TO REMOVE TRACKED SOIL.

SOLID WASTE INCLUDING CONSTRUCTION DEBRIS WILL BE PLACED IN ROLL ON CONTAINERS. IT IS ESTIMATED THAT THE DEBRIS WILL HAVE TO BE REMOVED AT ONE TO TWO WEEK INTERVALS DURING BUILDING CONSTRUCTION. SOLID WASTE MANAGEMENT, EROSION AND SILTATION CONTROL DEVICES SHALL BE INSTALLED, INSPECTED AND MAINTAINED BY THE GENERAL CONTRACTOR.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTES:

- A) NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(c), F.A.C.
- B) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(c) PART III.C.2, F.A.C., AND AS PER SEC 54-187(g)(1) OF THE SARASOTA COUNTY CODE.
- C) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO AIR AND WATER QUALITY IN ACCORDANCE WITH RULE 62-621.300(4)(c) PART III.D.1, F.A.C., AND SECTION 54-187(g)(1) OF THE SARASOTA COUNTY CODE.
- D) THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(c) PART V.D.6, F.A.C., AND A COPY OF THE CERTIFIED DOCUMENT SHALL BE SUBMITTED TO AIR AND WATER QUALITY AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION PER SEC 54-187(g)(1) OF THE SARASOTA COUNTY CODE.
- E) A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE INSPECTORS PER SEC 54-187(g)(1) OF THE SARASOTA COUNTY CODE.
- F) THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART V.D.6, F.A.C., AND A COPY OF THE CERTIFIED DOCUMENT SHALL BE SUBMITTED TO AIR AND WATER QUALITY AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION PER SEC 54-187(g)(1) OF THE SARASOTA COUNTY CODE.

POLLUTION CONTROL NOTES: Sarasota County

1. EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THE PLANS AND SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMP'S SHALL BE DESIGNED, INSTALLED AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. (THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.)

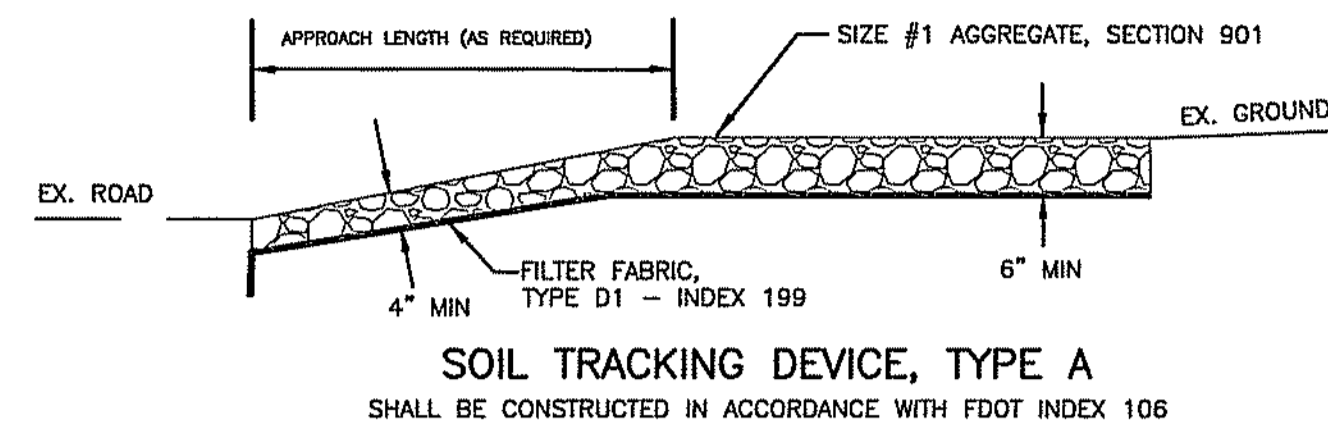
2. OFF SITE SURFACE WATER DISCHARGES, DISCHARGES TO THE MS4, OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTU'S) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO AIR AND WATER QUALITY WITHIN 24 HOURS OF THE OCCURRENCE (PH: 941-861-5000; FAX: 941-861-0986). THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.

3. THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNBOUND PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296-320 (4)(c), F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.

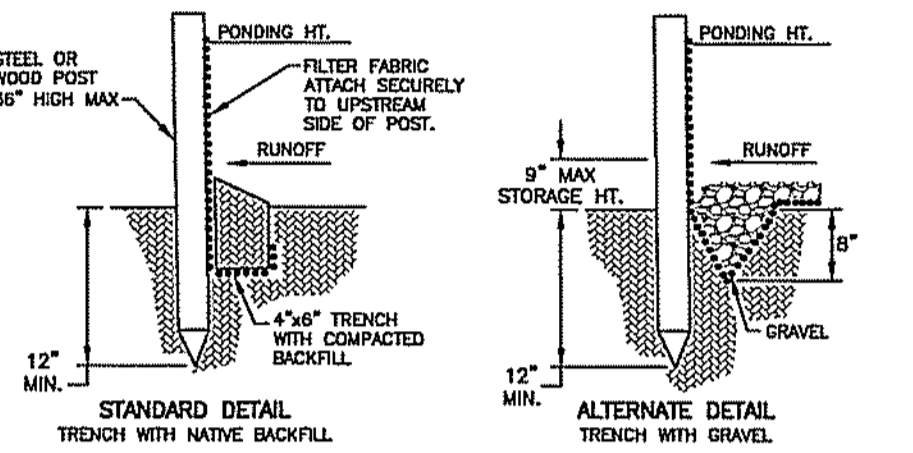
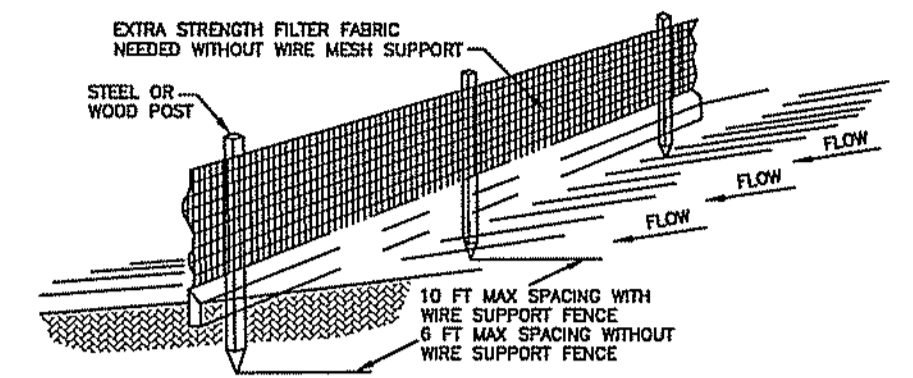
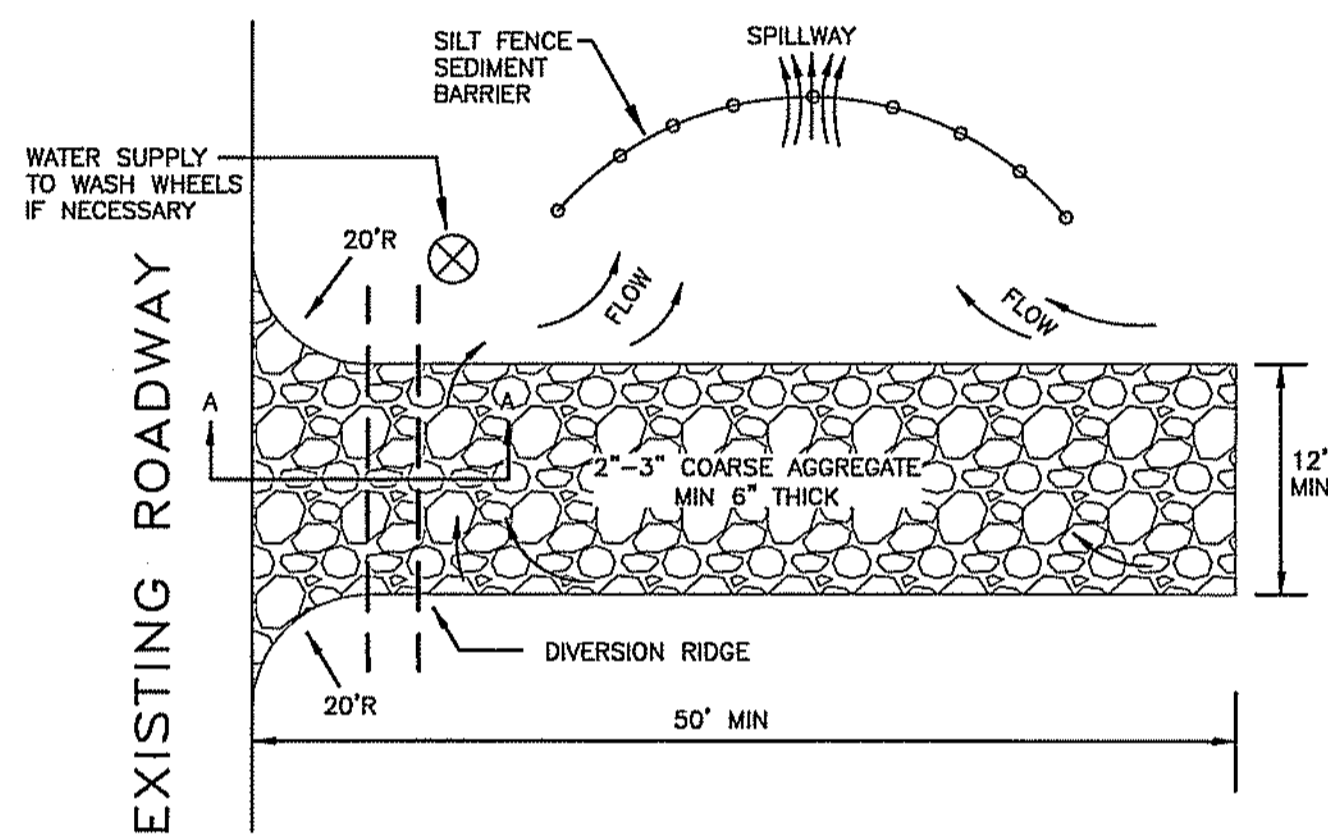
4. FUEL OR OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORM WATER DRAINS OR WATER BODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP AND IMMEDIATELY REPORTED TO AIR & WATER QUALITY (PH: 941-861-5000; FAX: 941-861-0986). SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.

5. IF CONTAMINATED SOIL AND /OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND AIR & WATER QUALITY SHALL BE CONTACTED (PH: 941-861-5000; FAX: 941-861-0986).

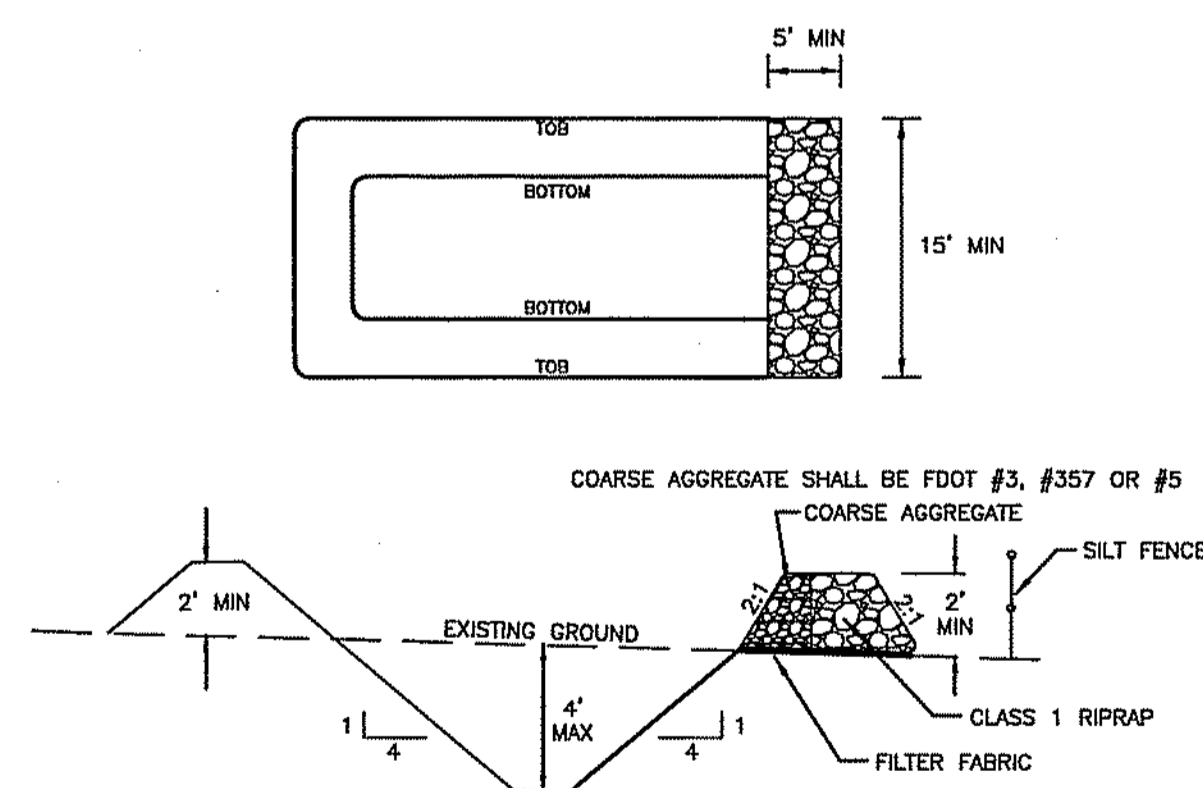
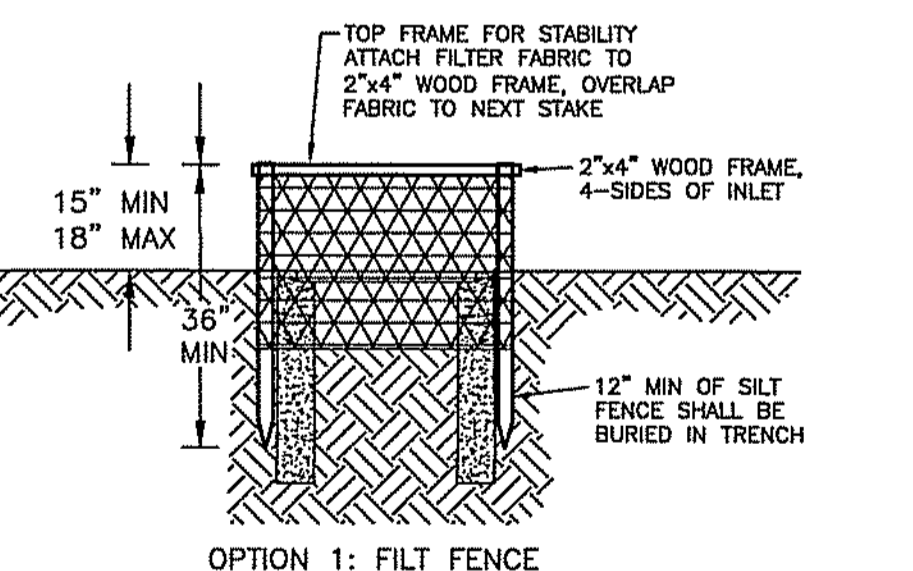
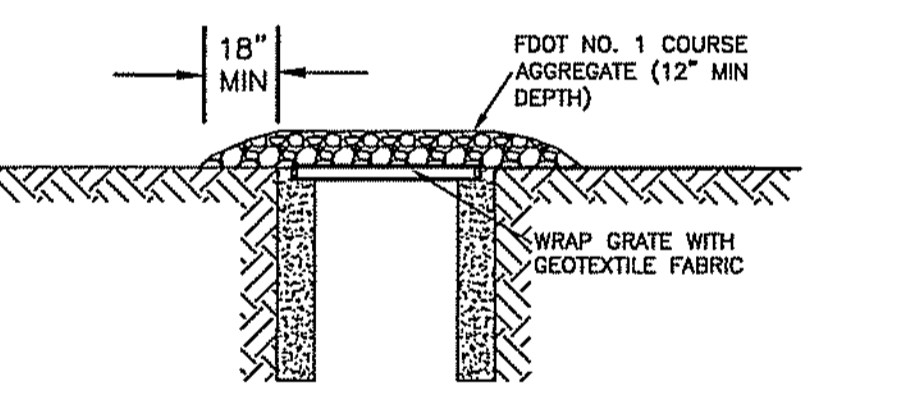
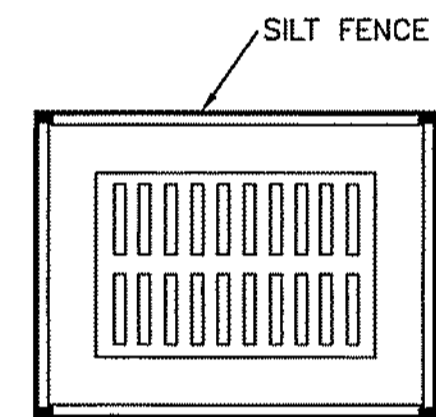
6. THE DISCHARGE OF GROUNDWATER PRODUCE THROUGH DEWATERING, TO SURFACE WATERS, OR TO ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). PERMITS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING. ANALYTICAL RESULTS FROM PRE-DISCHARGE TESTING SHALL BE PROVIDED TO AIR & WATER QUALITY PURSUANT TO SECTION 54-185(b) OF THE SARASOTA COUNTY CODE.



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R/W OR OFF-SITE. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTP PUBLIC R/W OR OFF-SITE.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. ROCK RIPRAP SHALL BE PER FDOT STANDARD SPECIFICATION 530-2.2.



- NOTES:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. INSPECT WEEKLY AT A MINIMUM.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONING EFFICIENCY.

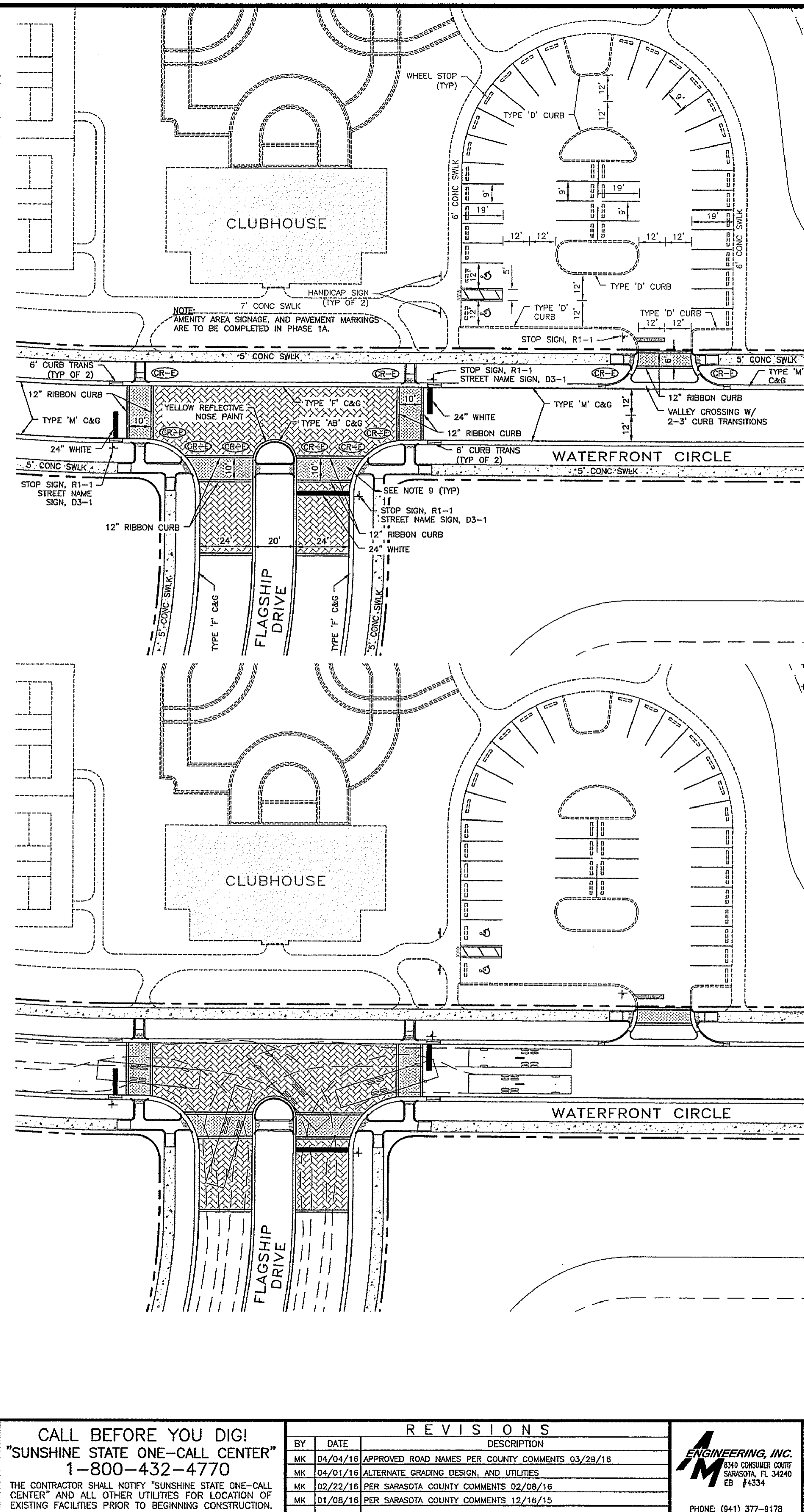
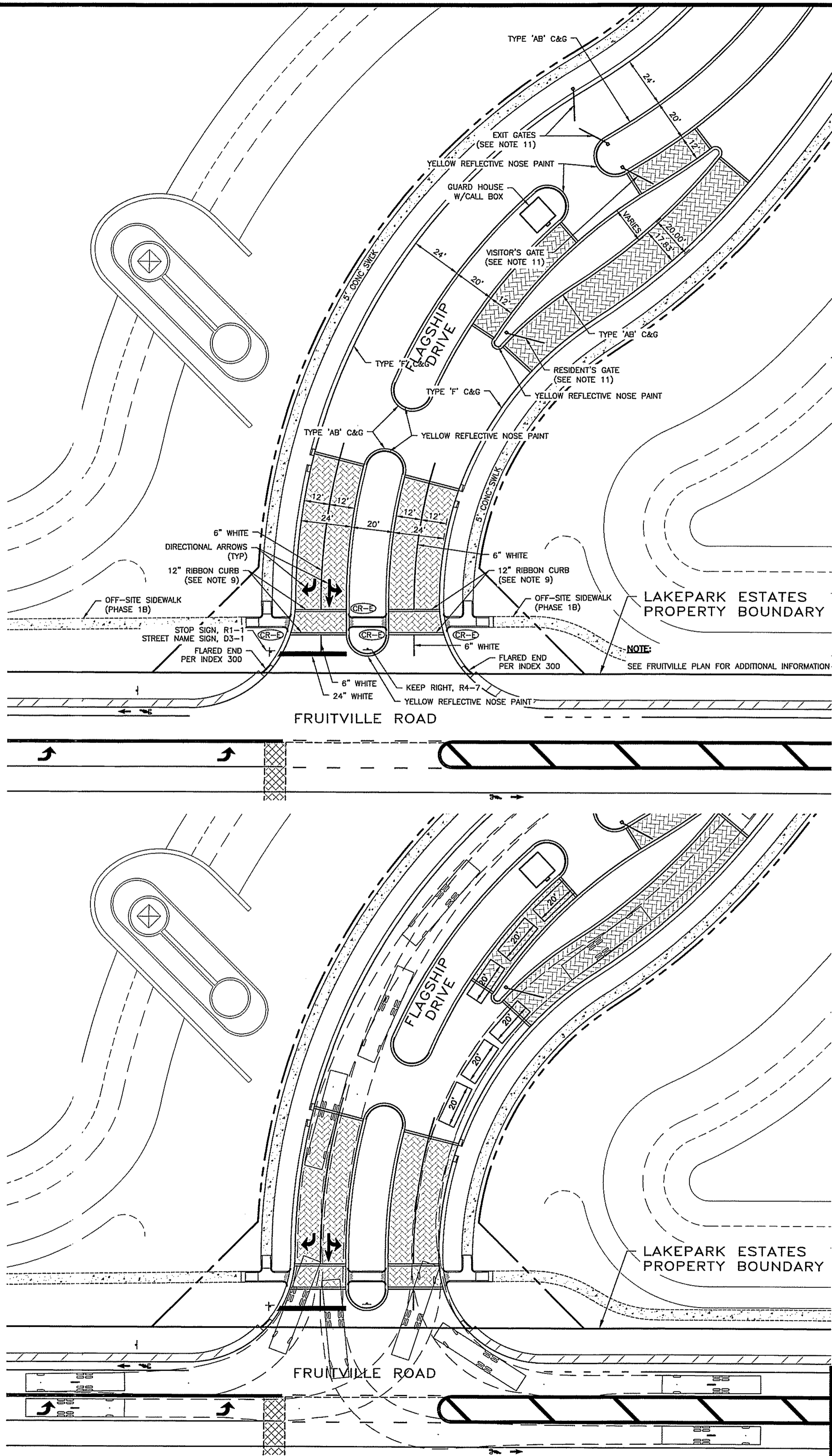


TEMPORARY SEDIMENT TRAP DETAIL
CONTRACTOR TO LOCATE ONSITE AS NEEDED.
ROCK RIPRAP SHALL BE PER FDOT STANDARD SPECIFICATION 530-2.2.

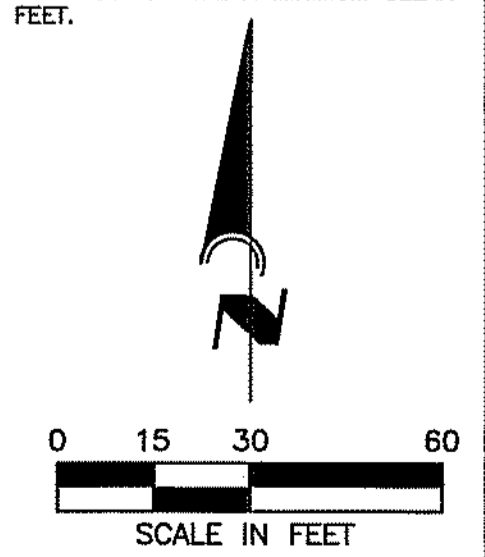
INLET SEDIMENT FILTER DETAIL
ROCK RIPRAP SHALL BE PER FDOT STANDARD SPECIFICATION 530-2.2.

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<p align="center">CALL BEFORE YOU DIG! "SUNSHINE STATE ONE-CALL CENTER" 1-800-432-4770</p> <p align="center">THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.</p>		<p align="center">REVISIONS</p> <table border="1"> <thead> <tr> <th>BY</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>MK</td> <td>04/04/16</td> <td>APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16</td> </tr> <tr> <td>MK</td> <td>04/01/16</td> <td>ALTERNATE GRADING DESIGN, AND UTILITIES</td> </tr> <tr> <td>MK</td> <td>02/22/16</td> <td>PER SARASOTA COUNTY COMMENTS 02/08/16</td> </tr> <tr> <td>MK</td> <td>01/08/16</td> <td>PER SARASOTA COUNTY COMMENTS 12/16/15</td> </tr> </tbody> </table>		BY	DATE	DESCRIPTION	MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16	MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES	MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16	MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15	<p align="center">ENGINEERING, INC. FBO CONSUMER CODE FLORIDA CERTIFICATE NO. 05584 EB #4334</p> <p align="center">PHONE: (941) 377-8178</p>		<p align="center">LAKEPARK ESTATES PHASE 1</p> <p align="center">APPROVED BY: <i>[Signature]</i></p> <p align="center">SEAN R. GROWELL FLORIDA CERTIFICATE NO. 05584 EB #4334</p> <p align="center">WINDHAM DEVELOPMENT, INC.</p> <p align="center">STORMWATER POLLUTION PREVENTION PLAN</p>		<p align="center">DRAWN BY: MK</p> <p align="center">DATE: 04/01/16</p> <p align="center">CLIENT: WINDHAM DEVELOPMENT, INC.</p> <p align="center">TITLE: STORMWATER POLLUTION PREVENTION PLAN</p>		<p align="center">JOB FILE: WINDO3-113</p> <p align="center">JOB NO: WINDO003</p> <p align="center">DRAWING NO: 13</p>	
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- NOTES:**
1. STRIPING AND SIGNAGE SHALL CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND THE FDOT STANDARD INDEX DRAWINGS FOR SUCH.
 2. ALL SIGNAGE SHALL BE INSTALLED BY CONTRACTOR.
 3. ALL STRIPING FOR THE INTERSECTIONS SHALL CONFORM WITH THE FDOT STANDARD INDEX NO. 17346.
 4. ALL STRIPING SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED. THERMOPLASTIC MARKINGS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATION 711.
 5. STRIPING NOTED AS "PAINT" SHALL BE IN ACCORDANCE WITH FDOT SECTION 710.
 6. ALL SIGN RETROREFLECTIVITY MUST MEET THE RETROREFLECTIVITY REQUIREMENTS OF THE LATEST EDITION OF THE MUTCD.
 7. ALL PAVEMENT MARKINGS SHALL MEET THE RETROREFLECTIVITY REQUIREMENTS OF THE LATEST EDITION OF THE MUTCD. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUBMIT REQUIRED RETROREFLECTIVITY CERTIFICATION WHEN APPLICABLE.
 8. ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE LATEST EDITION OF THE MUTCD, FDOT DESIGN STANDARDS, AND THE SARASOTA COUNTY TRANSPORTATION DEPARTMENT - HIGHWAY, TRAFFIC & STORMWATER STANDARDS.
 9. BRICK PAVERS IN CROSSWALKS SHALL BE DIFFERENT IN COLOR THAN DECORATIVE BRICK PAVERS IN ROADWAY.
 10. ALL CURB RAMPS SHALL PROVIDE DETECTABLE WARNING STRIP(S) PER FDOT STANDARD INDEX NO. 304, AND BE FLUSH SHOULDER, OPTION "A" UNLESS OTHERWISE NOTED.
 11. GATES SHALL BE COORDINATED WITH FIRE DEPARTMENT, AND SHALL PROVIDE EMERGENCY ACCESS PER NFPA 1 (18.2.2.1, AND 18.2.2.2). CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE FOR ORDERING FORMS TO ACQUIRE PROPER SWITCHING HARDWARE.
 12. FIRE DEPARTMENT GATES SHALL PROVIDE A MINIMUM CLEAR GATE OPENING OF 15 FEET.



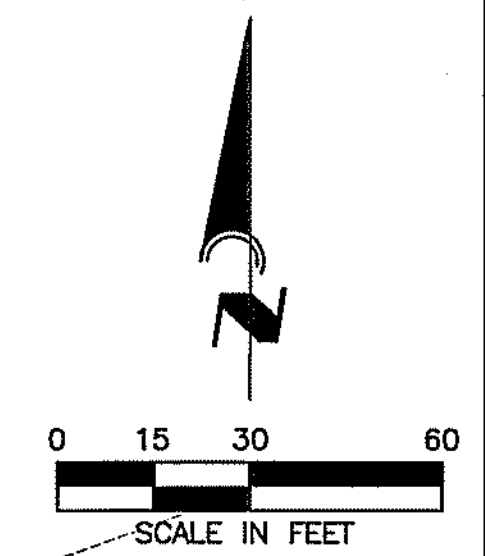
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 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16
MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
 830 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

LAKEPARK ESTATES PHASE 1
 DRAWN BY: MK
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: MASTER SIGNAGE STRIPING AND SIDEWALK PLAN
 SHEET NO. 14A

Date: 04/01/16 11:45 AM
 User: MK
 Project: LAKEPARK ESTATES PHASE 1
 Drawing: MASTER SIGNAGE STRIPING AND SIDEWALK PLAN
 Sheet: 14A



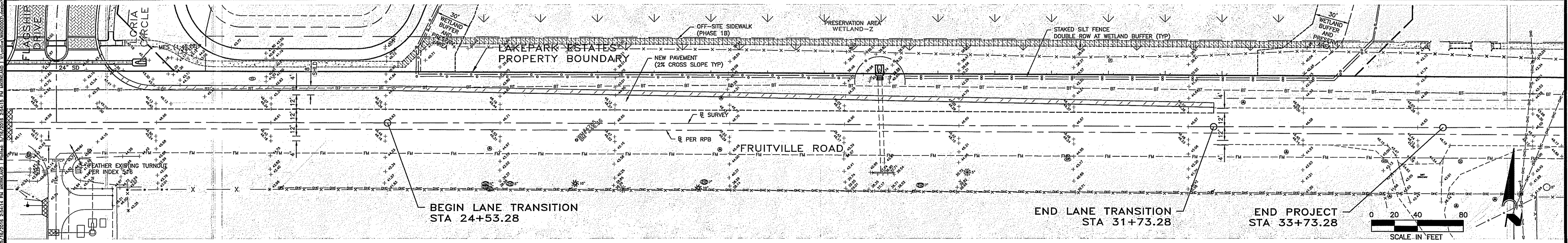
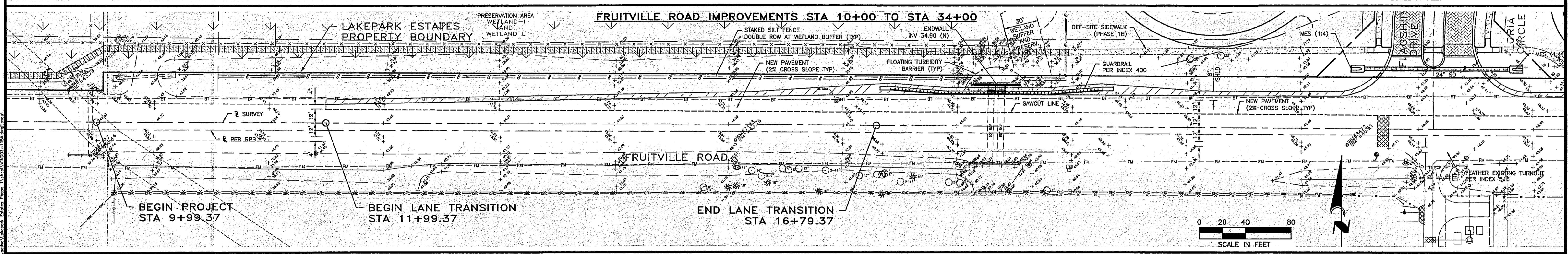
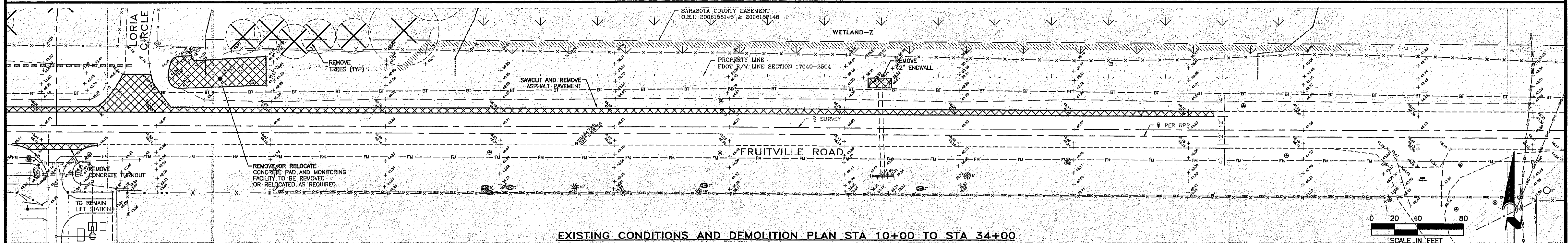
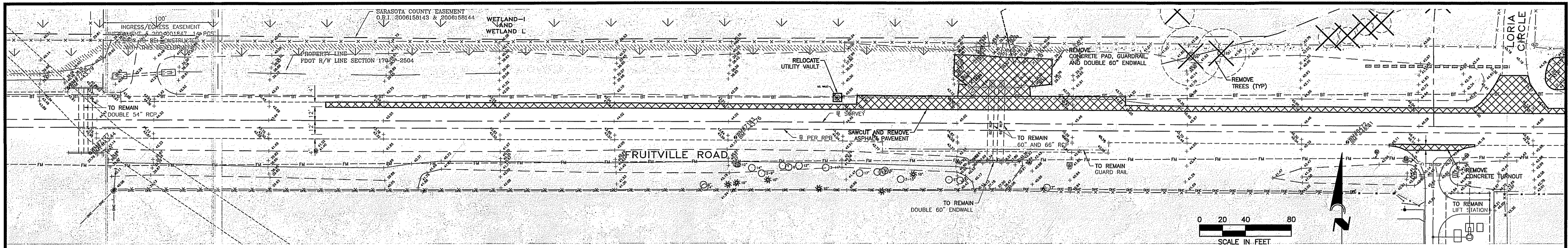
04/16/2016 09:51:14 AM 25114 24 WINDHAM 1 1/4"=30' 04/01/16 09:51:14 AM 25114 24 WINDHAM 1 1/4"=30' 04/01/16 09:51:14 AM 25114 24 WINDHAM 1 1/4"=30' 04/01/16 09:51:14 AM 25114 24 WINDHAM 1 1/4"=30'

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ENGINEERING, INC.
 8340 CONSIDER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

LAKEPARK ESTATES, PHASE 1
 SCALE: 1"=30'
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: MASTER SIGNAGE STRIPING AND SIDEWALK PLAN
 DRAWN BY: MK
 CAD FILE: WIND03-114B
 JOB NO: WIND0003
 DRAWING NO: 14B



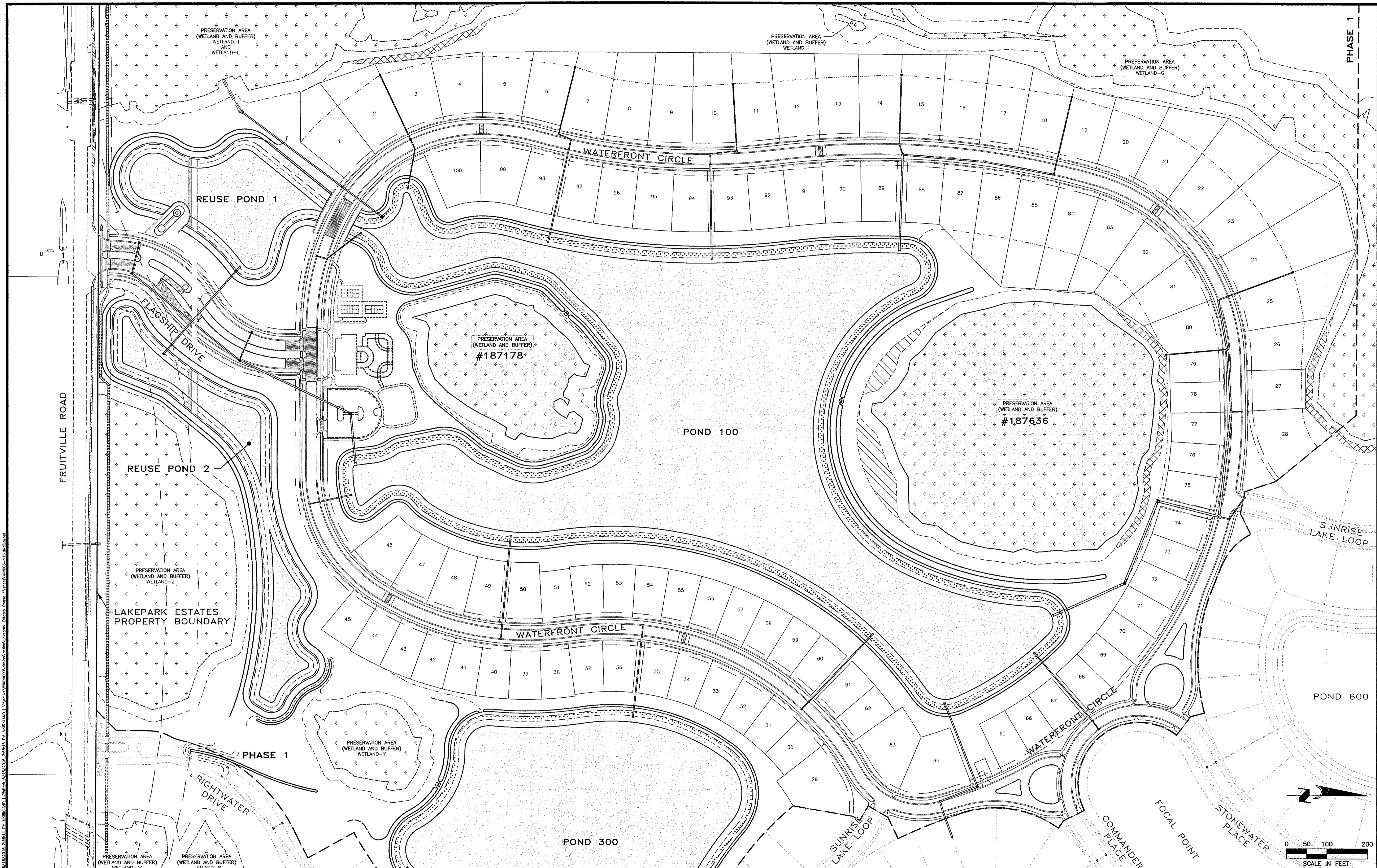
- NOTES:**
- SEE SHEET 12C FOR FRUITVILLE ROAD TYPICAL RESURFACING, AND WIDENING SECTIONS.
 - ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER.
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER THE CURRENT EDITIONS OF THE FDOT DESIGN STANDARDS (600 SERIES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE MUTCD.
 - EXISTING PAVEMENT MARKINGS WITHIN THE PROJECT AREA SHALL BE REMOVED BY SAND BLASTING.

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 SARASOTA, FL 34240
 EB #4334
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LAKEPARK ESTATES PHASE 1
 SCALE: 1"=40'
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: FRUITVILLE ROAD PLAN
 DRAWN BY: MK
 CAD FILE: WIND03-115A
 JOB NO: WIND0003
 DRAWING NO: 15A



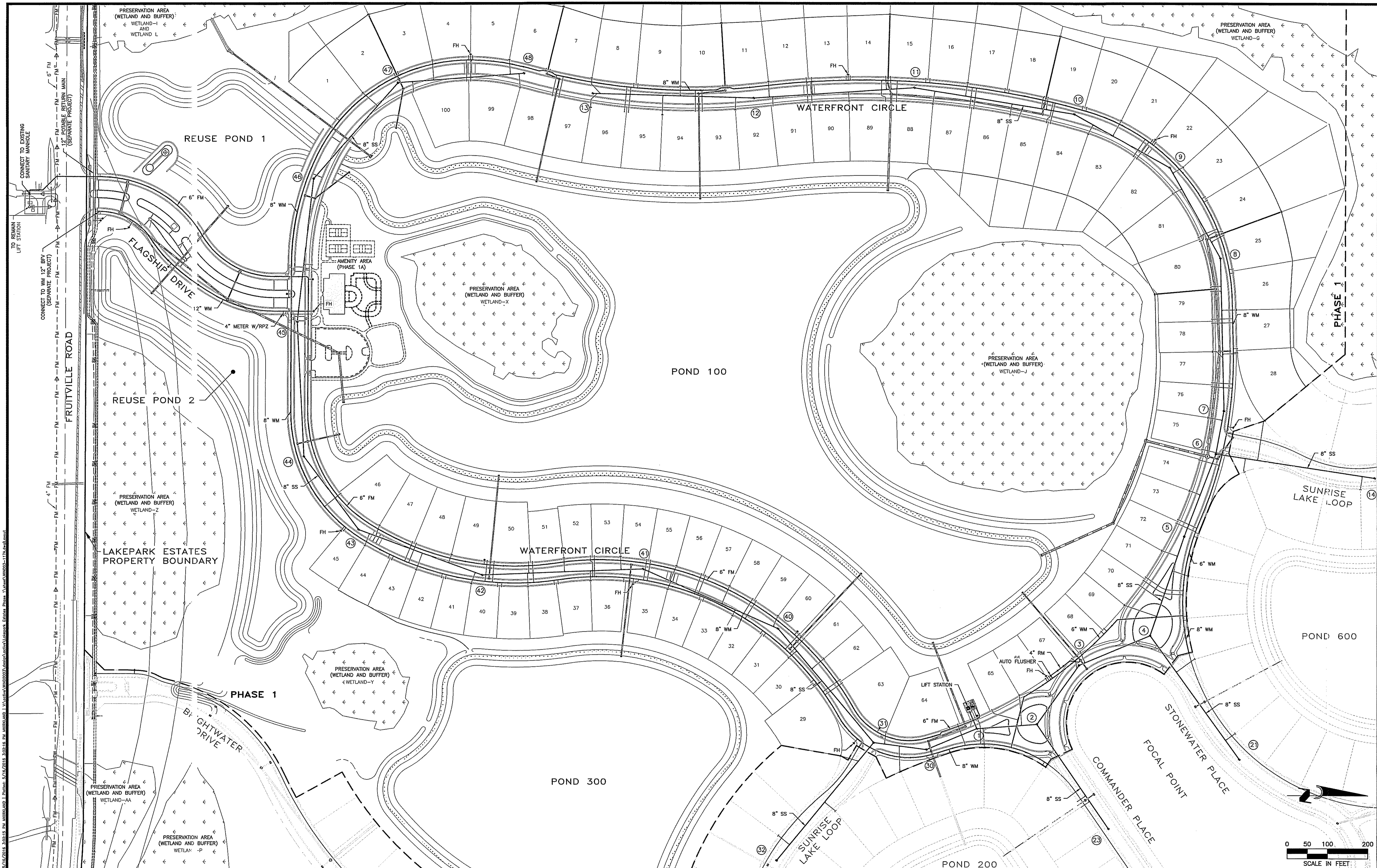
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ENGINEERING, INC.
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 EB #4334
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LAKEPARK ESTATES PHASE 1
 SCALE: 1"=100'
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: 100 YEAR FLOODPLAIN MAP
 DRAWN BY: MK
 CHECKED BY: SEAN R. CROWELL, P.E.
 FLORIDA CERTIFICATE NO. 58584
 JOB NO: WIND003-116
 DRAWING NO: 16



- UTILITY NOTES:**
1. ALL SEWER MAINS SHALL BE 8" SDR-26, UNLESS NOTED OTHERWISE.
 2. ALL WATER MAINS SHALL BE DR-18, C-900 PVC UNLESS NOTED OTHERWISE.
 3. ALL FORCE MAINS SHALL BE DR-25, C-900 PVC UNLESS NOTED OTHERWISE.
 4. SEE THE LAKEPARK ESTATES FRUITVILLE ROAD WATER IMPROVEMENTS PLANS (SEPARATE PROJECT) FOR DETAIL OF THE 16" WATER MAIN, AND 12" RETURN LINE.

- NOTES:**
1. OFF-SITE UTILITIES ALONG FRUITVILLE ROAD SHALL BE PERMITTED SEPARATELY.
 2. SEE SHEET 17B FOR WATER MAIN POINT OF CONNECTION.

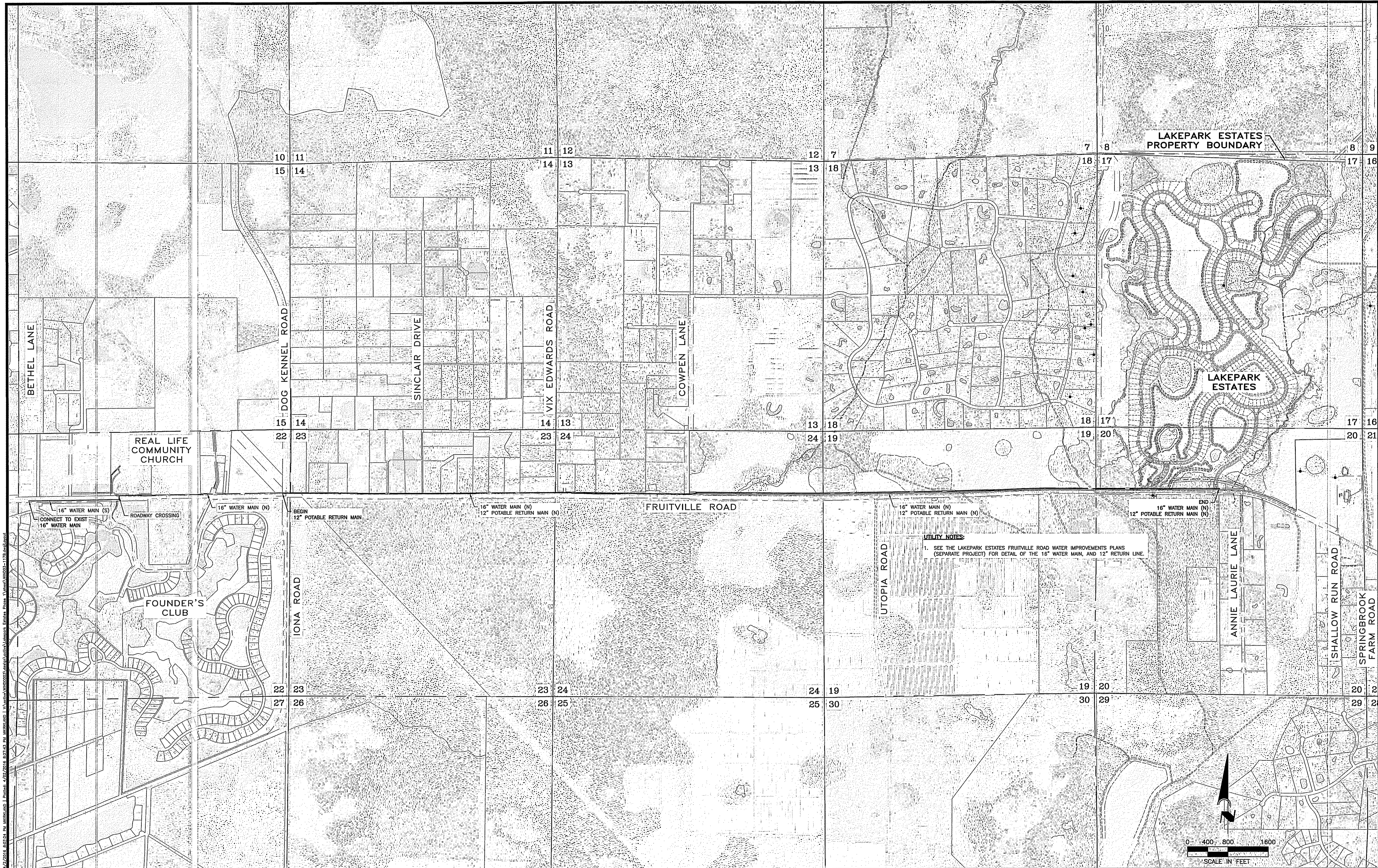
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 1540 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

LAKEPARK ESTATES PHASE 1
 SCALE: 1"=100'
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: MASTER UTILITY PLAN
 DRAWN BY: MK
 CHECKED BY: SEAN R. CROWELL, P.E.
 FLORIDA CERTIFICATE NO. 58584
 JOB NO: WIND003-117A
 DRAWING NO: 17A

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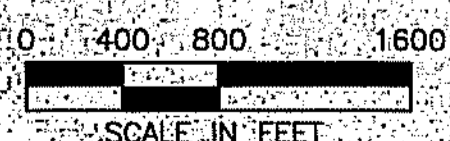
LAKEPARK ESTATES
PROPERTY BOUNDARY

LAKEPARK
ESTATES

FRUITVILLE ROAD

UTILITY NOTES:

1. SEE THE LAKEPARK ESTATES FRUITVILLE ROAD WATER IMPROVEMENTS PLANS (SEPARATE PROJECT) FOR DETAIL OF THE 16" WATER MAIN, AND 12" RETURN LINE.



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ENGINEERING, INC.
 6340 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334

PROJECT: **LAKEPARK ESTATES - PHASE 1**
 SCALE: 1"=800'
 DATE: 04/01/16
 CLIENT: **WINDHAM DEVELOPMENT, INC.**
 TITLE: **MASTER UTILITY PLAN**

APPROVED BY: *[Signature]*
 SEAN R. CROWELL, P.E.
 FLORIDA CERTIFICATE NO. 58584

DRAWN BY: MK
 CHECKED BY: WINDO3-117B
 JOB NO.: WINDO003
 DRAWING NO.: 17B

PHONE: (941) 377-9178

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SEASONAL HIGH WATER ELEVATIONS

ELEVATION (NGVD 29)	ELEVATION (NAVD 88)	DESCRIPTION
45.71	44.75	SHWL#1A-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
46.12	45.16	SHWL#2A-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
46.19	45.23	SHWL#3A-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NORMAL POOL-A-12" BELOW SHWL		
SHWL#1B-DITCH CROSS SECTION (TOPO SHOT EVERY FOOT)		
BELOW ELEVATIONS FOR ABOVE CROSS SECTION ARE FROM EAST TO WEST		
46.77, 46.88, 46.59, 46.27, 46.27, 46.59, 46.43, 46.49, 46.69, 46.74, 46.78, 46.89, 46.99		
49.50	48.54	SHWL#1C-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.50	48.54	SHWL#2C-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.29	48.33	SHWL#3C-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NORMAL POOL-C-AVERAGE ELEVATION OF GROUND AT SHWL LOCATIONS		
49.14, 47.95, 47.82 (AVERAGE 47.97)		
SHWL#1D-DITCH CROSS SECTION (TOPO SHOT EVERY FOOT)		
BELOW ELEVATIONS FOR ABOVE CROSS SECTION ARE FROM EAST TO WEST		
49.66, 49.48, 49.28, 49.13, 49.23, 49.25, 49.12, 49.21, 49.14, 49.02, 49.23, 49.39, 49.89, 50.90, 51.65, 51.89, 52.22		
50.79	49.83	NORMAL POOL-D-AVERAGE ELEVATION OF GROUND AT NP LOCATIONS
47.50	46.54	SHWL#1E-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
47.63	46.67	SHWL#2E-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
47.61	46.65	SHWL#3E-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NORMAL POOL-F-12" BELOW SHWL		
47.43	46.47	SHWL#1F-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
47.46	46.50	SHWL#2F-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
47.48	46.52	SHWL#3F-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NORMAL POOL-G-12" BELOW SHWL		
46.32	45.36	SHWL#1G-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
46.34	45.38	SHWL#2G-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
46.38	45.42	SHWL#3G-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
44.84	43.88	SHWL#4G-GROUND ELEVATION AT FLAG
44.61	43.65	SHWL#5G-STAIN LINE ON CULVERT (AS MARKED ON CULVERT)
NORMAL POOL-H-12" BELOW SHWL		
45.84	44.88	SHWL#1H-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
45.99	45.03	SHWL#2H-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
46.01	45.05	SHWL#3H-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NORMAL POOL-I-8" BELOW SHWL		
47.75	46.79	SHWL#1I-AVERAGE ELEVATION OF WETLAND BOUNDARY
NORMAL POOL-J-3J-AVERAGE GROUND ELEVATION OF NP FLAGS SET IN FIELD		
46.25, 46.31, 46.19 (AVERAGE 46.25)		
SHWL#1K-DITCH CROSS SECTION (TOPO SHOT EVERY FOOT)		
BELOW ELEVATIONS FOR ABOVE CROSS SECTION ARE FROM NORTH TO SOUTH		
41.26, 40.88, 40.77, 40.44, 40.52, 40.51, 40.53, 40.54, 40.77, 40.92, 40.97, 41.39		
40.08	39.12	SHWL#1L-ELEVATION OF BARBED WIRE
40.44	39.48	SHWL#2L-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW

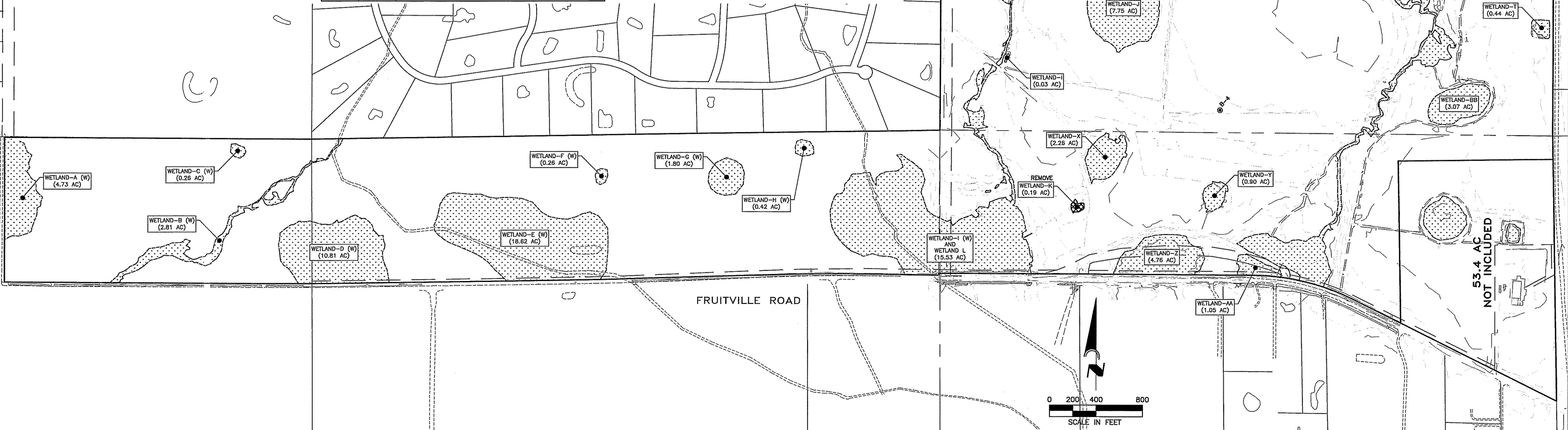
SEASONAL HIGH WATER ELEVATIONS

ELEVATION (NGVD 29)	ELEVATION (NAVD 88)	DESCRIPTION
40.59	39.63	SHWL#3L-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
42.68	41.72	SHWL#4L-GROUND ELEVATION OF STAKE
42.05	41.09	SHWL#5L-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
44.47	43.51	SHWL#6L-STAIN LINE ON CULVERT (AS MARKED ON CULVERT)
48.46	47.50	SHWL#1M-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.01	48.05	SHWL#2M-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
48.91	47.95	SHWL#3M-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
53.06	52.10	SHWL#1N-GROUND ELEVATION OF FLAG
52.04	51.08	SHWL#2N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
51.93	50.97	SHWL#3N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
51.41	50.45	SHWL#4N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
51.42	50.46	SHWL#5N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
51.14	50.18	SHWL#6N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
51.20	50.24	SHWL#7N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
51.26	50.30	SHWL#8N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.97	50.01	SHWL#9N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
53.44	52.48	SHWL#10N-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
53.22	52.26	SHWL#20-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
52.96	52.00	SHWL#40-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
52.45	51.49	SHWL#50-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
52.71	51.75	SHWL#60-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.61	49.65	SHWL#70-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.69	49.73	SHWL#80-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.43	48.47	SHWL#1P-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
48.25	47.29	SHWL#2P-ELEVATION OF MARK ON PVC STAKE
47.87	46.91	SHWL#3P-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
47.70	46.74	SHWL#4P-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
48.01	47.05	SHWL#5P-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NORMAL POOL-K-9" BELOW SHWL		
48.57	47.61	SHWL#6P-GROUND ELEVATION OF STAKE
45.51	44.55	SHWL#7P-ELEVATION MARK ON PVC STAKE
45.89	44.93	SHWL#8P-ELEVATION MARK ON PVC STAKE
44.37	43.41	SHWL#9P-ELEVATION MARK ON PVC STAKE
44.06	43.10	SHWL#10P-ELEVATION MARK ON PVC STAKE
41.41	40.45	SHWL#14P-ELEVATION MARK ON PVC STAKE
47.12	46.16	(#11P)SHWL#1Q-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
47.15	46.19	(#12P)SHWL#2Q-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
47.21	46.25	(#13P)SHWL#3Q-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW

SEASONAL HIGH WATER ELEVATIONS

ELEVATION (NGVD 29)	ELEVATION (NAVD 88)	DESCRIPTION
NP#Q-12" BELOW SHWL		
50.58	49.62	SHWL#1R-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.79	49.83	SHWL#2R-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.95	49.99	SHWL#3R-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.86	48.90	SHWL#1S-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.71	48.75	SHWL#2S-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.82	48.86	SHWL#3S-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NP#S-8" BELOW SHWL		
51.00	50.04	SHWL#1T-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.86	49.90	SHWL#2T-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.81	49.85	SHWL#3T-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.23	49.27	NP#1T-GROUND ELEVATION OF FLAG
50.01	49.05	NP#2T-GROUND ELEVATION OF FLAG
50.27	49.31	NP#3T-GROUND ELEVATION OF FLAG
49.69	48.73	SHWL#1U-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.54	48.58	SHWL#2U-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.62	48.66	SHWL#3U-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.95	48.99	SHWL#1V-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
49.96	49.00	SHWL#2V-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
50.01	49.05	SHWL#3V-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NP#V-9" BELOW SHWL		
43.05	42.09	SHWL#1X-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
43.16	42.20	SHWL#2X-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
42.94	41.98	SHWL#3X-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NORMAL POOL-X-10" BELOW SHWL		
47.03	46.07	SHWL#Y-AVERAGE ELEVATION OF WETLAND BOUNDARY
44.33	43.37	NP#1Y-GROUND ELEVATION OF FLAG
44.48	43.52	NP#2Y-GROUND ELEVATION OF FLAG
44.36	43.40	NP#3Y-GROUND ELEVATION OF FLAG
37.74	36.78	SHWL#1Z-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
38.11	37.15	SHWL#2Z-ELEVATION OF MARK ON PVC STAKE
41.45	40.49	SHWL#1AA-ELEVATION OF MARK ON PVC STAKE
48.22	47.26	SHWL#1BB-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
48.13	47.17	SHWL#2BB-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
48.35	47.39	SHWL#3BB-ADVENTITIOUS ROOTING ON PRIMROSE WILLOW
NP#1BB-10" BELOW SHWL		

PROJECT BOUNDARY



NOTES:
 1. NAVD 88 ELEVATIONS OBTAINED FROM MYAKKA RANCHES SEASONAL HIGH WATER ELEVATION REPORT, AS PROVIDED BY JAMES D. GREER, P.S.M (KING ENGINEERING ASSOCIATES, INC.).
 2. NGVD 29 ELEVATIONS DERIVED BY VERTCON CALCULATION, SEE GENERAL NOTE 16, VERTICAL DATUM, ON SHEET 2 FOR MORE INFORMATION.

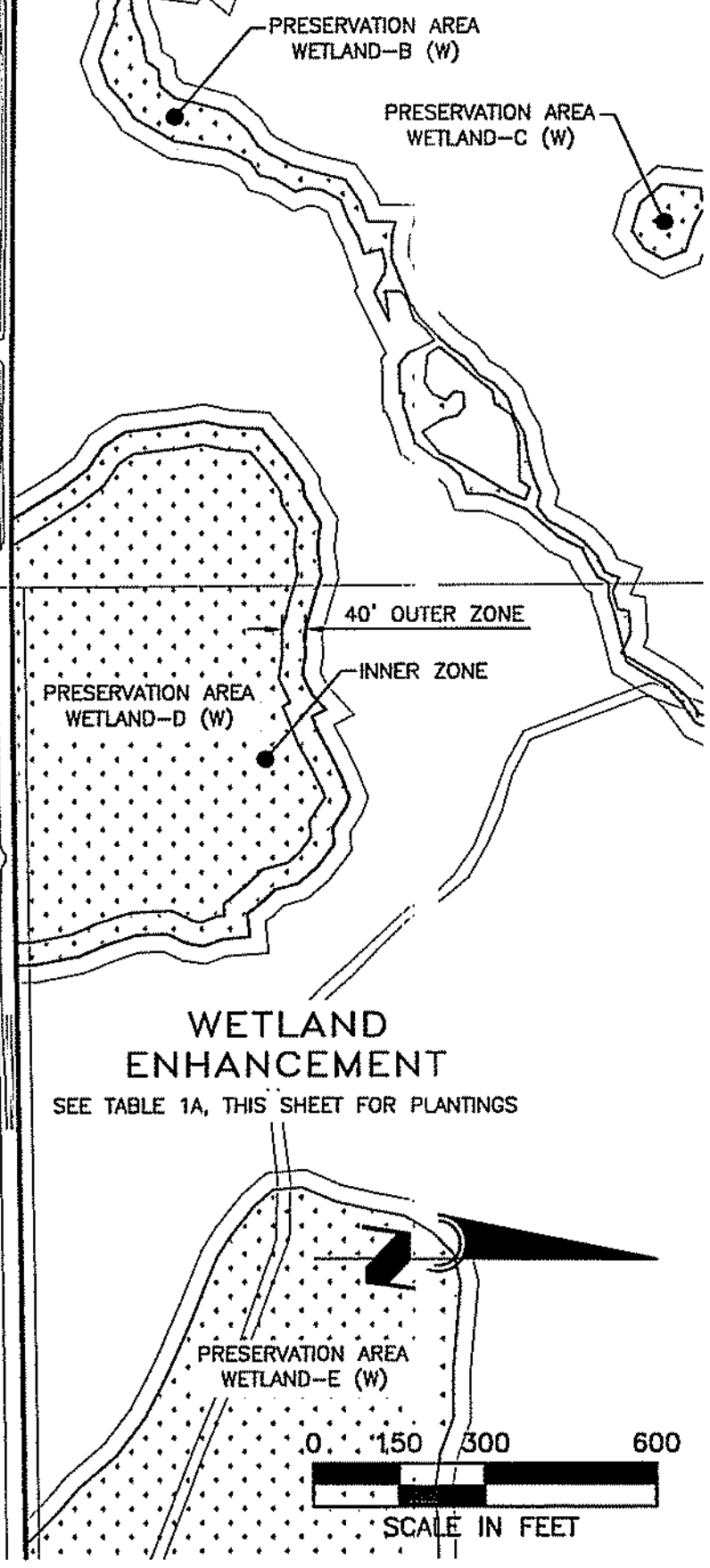
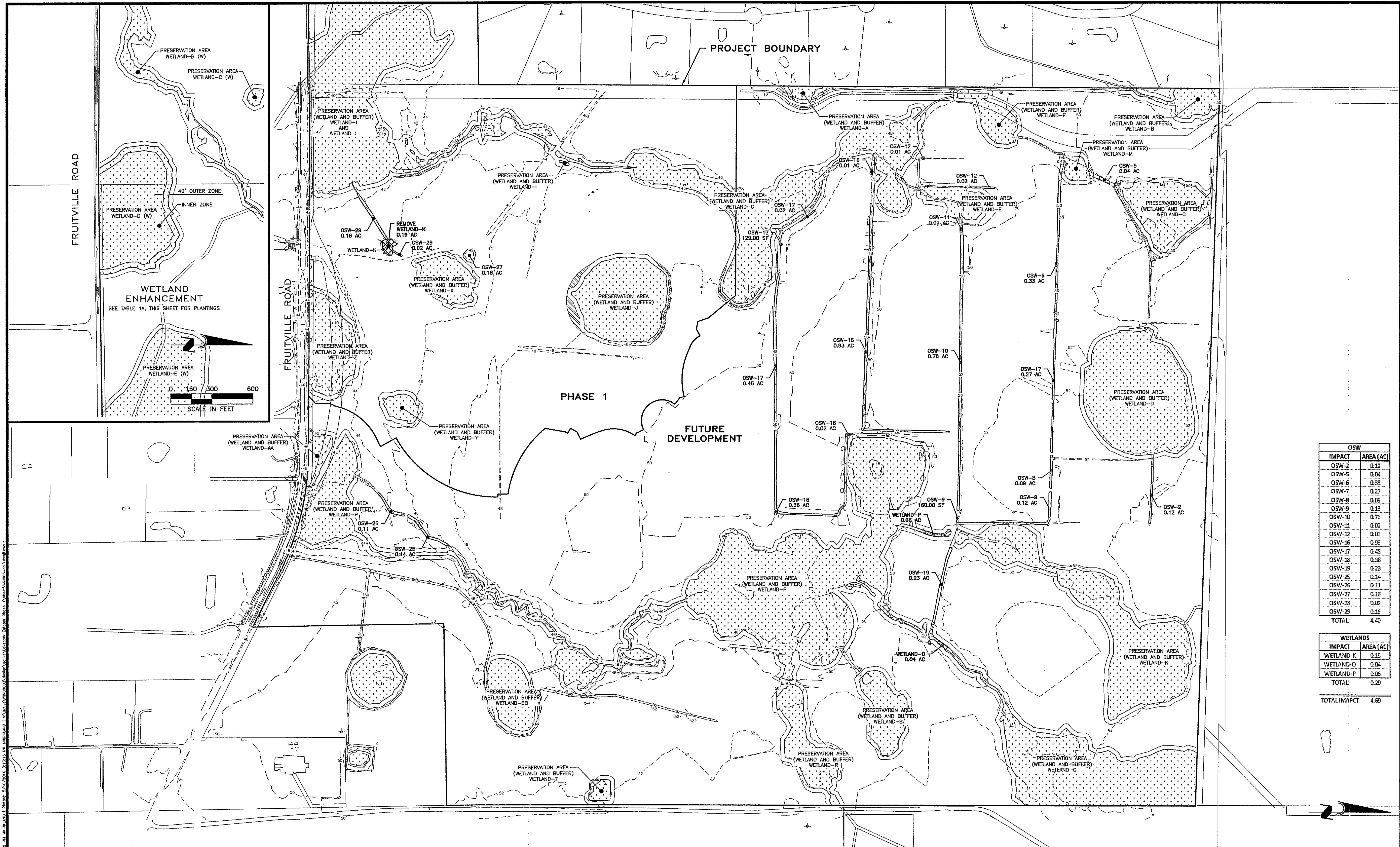
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BY	DATE	DESCRIPTION
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ENGINEERING, INC.
 650 OSWEGO COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

LAKEPARK ESTATES, PHASE 1
 APPROVED BY: SEAN R. CROWELL, P.E.
 FLORIDA CERTIFICATE NO. 58584
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: EXISTING WETLAND-OSW PLAN

SCALE: 1"=400'
 DRAWN BY: MK
 CHECKED BY: WIND003-122
 JOB NO: WIND0003
 DRAWING NO: 22

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OSW	
IMPACT	AREA (AC)
OSW-2	0.12
OSW-5	0.04
OSW-6	0.33
OSW-7	0.27
OSW-8	0.09
OSW-9	0.13
OSW-10	0.76
OSW-11	0.02
OSW-12	0.03
OSW-16	0.93
OSW-17	0.48
OSW-18	0.38
OSW-19	0.23
OSW-25	0.14
OSW-26	0.11
OSW-27	0.16
OSW-28	0.02
OSW-29	0.16
TOTAL	4.40

WETLANDS	
IMPACT	AREA (AC)
WETLAND-K	0.19
WETLAND-O	0.04
WETLAND-P	0.05
TOTAL	0.29

TOTAL IMPACT 4.69

Table 1A. Wetland D (W) Enhancement Planting Palette

ZONE	Elevation	Acres	Common Name	Scientific Name	Size	Spacing	Approximate Numbers
Deep Zone	10.81		Lance-Leaf Arrowhead	<i>Sagittaria lancifolia</i>	Bare Root	6' o.c.	2616
			Alligator Flag	<i>Thalia geniculata</i>	Bare Root	6' o.c.	2616
			Pickersweed	<i>Portulaca coccoloba</i>	Bare Root	6' o.c.	2616
Outer Zone			Sand Cordgrass	<i>Spartina bakeri</i>	Bare Root	6' o.c.	2616
			Sotrush	<i>Juncus effusus</i>	Bare Root	6' o.c.	2616

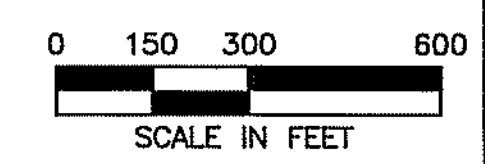
CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
 THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
MK	04/04/16	APPROVED ROAD NAMES PER COUNTY COMMENTS 03/29/16
MK	04/01/16	ALTERNATE GRADING DESIGN, AND UTILITIES
MK	02/22/16	PER SARASOTA COUNTY COMMENTS 02/08/16
MK	01/08/16	PER SARASOTA COUNTY COMMENTS 12/16/15

ENGINEERING, INC.
 6340 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334
 PHONE: (941) 377-9178

LAKEPARK ESTATES - PHASE 1
 APPROVED BY: *[Signature]*
 SEAN R. CROWELL, P.E.
 FLORIDA CERTIFICATE NO. 58584
WINDHAM DEVELOPMENT, INC.
 PROPOSED WETLAND-OSW IMPACT PLAN

SCALE: 1"=300'
 DATE: 04/01/16
 CLIENT: WINDHAM DEVELOPMENT, INC.
 TITLE: PROPOSED WETLAND-OSW IMPACT PLAN



© 2016 Engineering, Inc. 5/16/2016 3:35:32 PM WIND003.dwg WIND003 - WIND003 - 123.dwg
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LAKEPARK ESTATES Consolidated Plant List

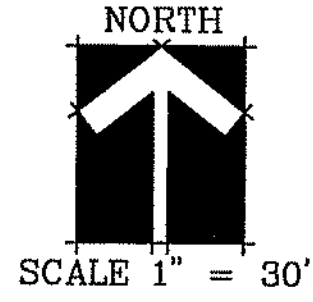
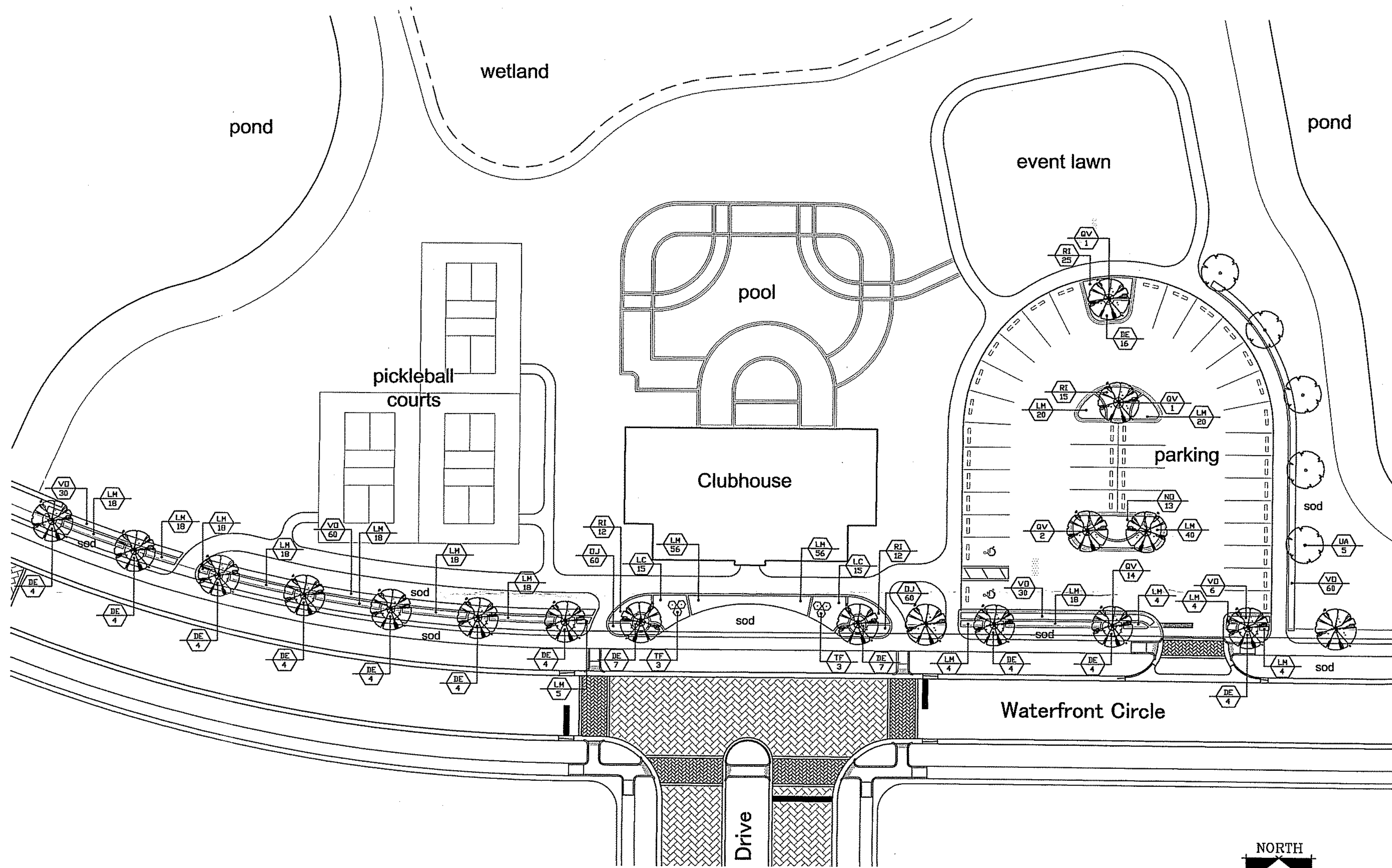
TREES & PALMS							
QTY	SYM	BOTANICAL/COMMON NAME	SIZE	HEIGHT	SPREAD	CT	REMARKS
18	QV	Quercus Virginiana Live Oak	2" DBH	9'-10'	4'-5'		
5	UA	Ulmus Americana Floridae Florida Elm	2" DBH	7'-8'	4'-5'		
6	TF	Trachycarpus Fortunei Windmill Palm					2-4', 2-5', 2-7'

SHRUBS & GROUNDCOVERS							
QTY	SYM	BOTANICAL/COMMON NAME	SIZE	HEIGHT	SPREAD	CT	REMARKS
110	DE	Dianella Ensifolia Flax Lily	1 gal.				Full
30	LC	Lantana Canara "New Gold" New Gold Lantana	3 gal.	12"	10"		Full
22B	LM	Liriodendron "Emerald" Emerald Giant Liriodendron	1 gal.				
120	ND	Nerium Oleander "Petite Salmon" Petite Salmon Oleander	3 gal.	20"	16"		Full
64	DJ	Ophiopogon Japonicus Mondo Grass	1 gal.				
64	RI	Raphirolepis Indica Indian Hawthorn	3 gal.	12"	14"		Full
186	VO	Viburnum Obovatum Water's Viburnum	3 gal.	12"	14"		Full

LAKEPARK ESTATES LANDSCAPE INSTALLATION NOTES

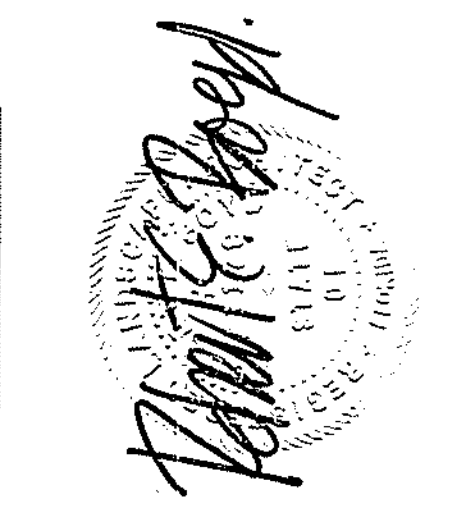
- The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and in performing all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintaining of all plants and planting areas until phase acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
- Adjustments to planter beds as shown on plans may be necessary due to walk locations, burning, relationship to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
- The contractor shall fully acquaint themselves with the related site grading, water supply, electrical supply, and other utilities to preclude any misunderstanding and facilitate a trouble free installation.
- No substitution shall be made without written permission of the owner.
- In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
- Plant materials will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue specified maintenance until the work is re-inspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
- All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
- All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants (Revised)", Parts 1 and 2, as published by the Florida Department of Agriculture and Consumer Services, and shall conform to ANR standards for nursery stock (ANSI 260, 1-1980).
- All planting beds and tree wells shall be mulched with 3" of Cocoa Brown Cypress Mulch, 100% organic, of the highest grade.
- All trees 8' or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
- The planting hole for all trees and shrubs shall be two (2) times the size of the root ball or container. Planting soil shall consist of 2 parts potting soil mix, 1 part existing soil and two (2) lbs. of fertilizer per cubic yard, well mixed.
- Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.
- All plants shall be watered thoroughly when planted.
- Sod (St. Augustine Palmetto) shall be well matted with grass roots. The sod shall be taken up in rectangles preferably 12" by 24", a minimum of 2" in thickness, and shall be reasonably free of weeds and other grasses and shall have a soil mat of sufficient thickness adhering firmly to the roots to withstand all necessary handling. The sod shall be shaded and kept moist until it is planted. Damaged sod will be rejected. Replanting shall be done within 48 hours after time of harvesting or kept damp until planted.
- Sodding schedule:
 - All manicured lawn areas shall be planted with St. Augustine Palmetto sod.
 - Soft spots and inequalities in grade shall be corrected before starting work.
 - Lay sod without voids. Thoroughly water after planting. The surface shall be true to finish grade lines and even and firm at all points.
 - Place sod with staggered joints closely butted, tamped or rolled to an even surface. Erosion control measures are mandatory in swales, rights of ways, or any other areas subject to erosion.
 - Fertilize with 16-4-8 Fertilizer at the rate of 8 lbs./1000 sq. ft.
- All shrub areas and areas to be sodded will be automatically irrigated. Verify areas to be irrigated with owner prior to commencing work. Verify that irrigation coverage is complete in all designed areas prior to planting.
- Contractor shall clean up and remove from the premises all surplus materials and rubbish.
- All shrubs and sod shall be guaranteed for one hundred eighty (180) days after final acceptance of the final phase by owner. All trees shall be guaranteed for one (1) year after final acceptance of the final phase.
- Protective barricades shall be placed around all protected trees to be saved and shall remain in place until construction is complete. Barricades shall be a minimum of 10' from the edge of the tree. Barricade shall be constructed of wood and be a minimum of 3' in height.
- Final inspection will not take place until all materials have been planted/installed properly.
- Contractor will be notified by letter of the final acceptance of each phase within ten (10) days after final phase inspection or ten (10) days after reinspection should that be necessary.
- Upon final notice of final acceptance of each phase, the owner will assume maintenance.
- If trees are wrapped in burlap and wire, remove wire and burlap from the surface of the root ball.
- Street trees shall be planted in compliance with the Planting Standards and Roadway Landscaping Guidelines described in the guidelines for the landscaping of Sarasota County roadways.

MAY 19 2016



CONSTRUCTION AUTHORIZED
BY: *[Signature]*
Land Development Services
DATE: 6/24/2016
THIS AUTHORIZATION IS SUBJECT TO EXISTING REQUIREMENTS OF SARASOTA COUNTY FLORIDA AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS.

NOTE:
Construction has been authorized with STIPULATIONS. See letter dated 6/24/16



ISSUE DATE:	REVISIONS
9-22-2015	

Lakepark Estates Amenity Area
Code Landscape Plan

CENTRAL FILE COPY



www.bsbdesign.com
100 Main St., Suite 209
Safety Harbor, Florida 34685
813 265 4808

JOB NO: PROJ MGR: RB
DRAWN: CHECKED:

Amenity Area Code
Landscape Plan

15-155473-D5

L1.0